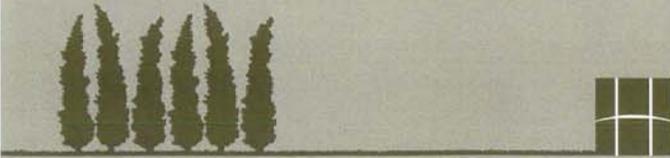




Harlan Ranch  
A CLOVIS COMMUNITY

MASTER DEVELOPMENT PLAN





# Harlan Ranch Master Development Plan Handbook

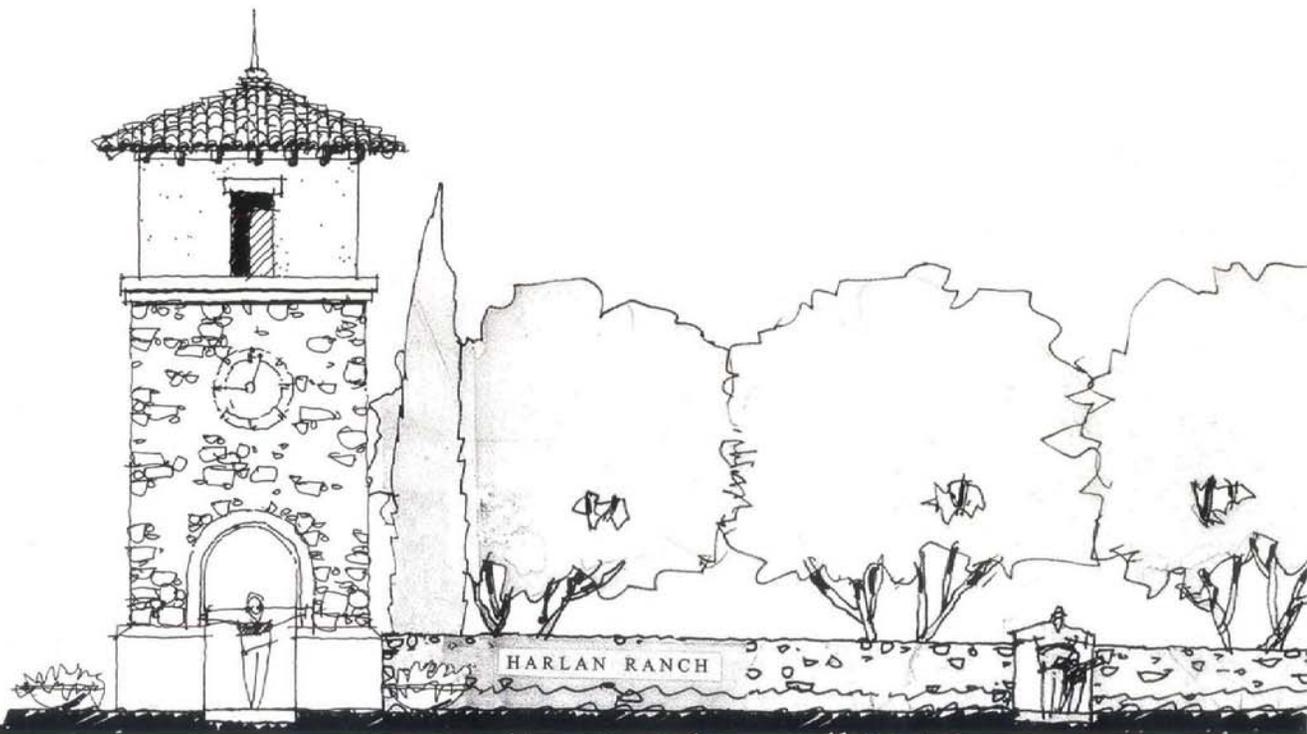
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	Prepared For: CENTRAL VALLEY EC GROUP
	Prepared By: THE PLANNING CENTER BROUSSARD & ASSOCIATES QUAD KNOFF, INC.
	APRIL 2005

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Harlan Ranch  
A CLOVIS COMMUNITY

INTRODUCTION





# Legal Description

## INTRODUCTION

SECTION

LEGAL DESCRIPTION

REGIONAL LOCATION MAP

All that portion of the SE qtr. and NE qtr. of Sec.26, the SW qtr. and the North 1/2 of Sec.25, all in Township 12 South, Range 21 East, Mount Diablo Base and Meridian, lying north of the northerly R.O.W. of State Hwy.168, more particularly described as follows:

Beginning at the NW corner of the NE qtr. of said Sec.26;

Thence South 00°49'05" West, along the west line of the NE qtr. of said Sec.26, a distance of 30.00', to the TRUE POINT OF BEGINNING;  
Thence South 89°30'26" East, along a line parallel with and distant 30.00' south of the north line of said Sec.26 a distance of 2645.87' to a point on the west line of said Sec.25, being 30.00' south of the NW Corner of said Sec.25;

Thence South 89°32'39" East, along a line parallel with and distant 30.00' south of the north line of said Sec.25, a distance of 2640.42' to a point distant 30.00' south of the North 1/4 Corner of said Sec.25;  
Thence South 89°32'31" East, along a line parallel with and 30.00' distant south of the north line of the NE qtr. of said Sec.25, a distance of 184.99' to a point on the southerly R.O.W. of Shepherd Ave., as shown on the California Department of Transportation Right of Way Record Maps labeled 06-FRE-168R15.0/R19.7, sheets 1-7;

Thence along the southerly R.O.W. of Shepherd Ave. the following courses:

Thence South 00°27'29" West, a distance of 22.97';  
Thence South 89°32'31" East, a distance of 284.96';  
Thence South 79°23'07" East, a distance of 381.42';  
Thence South 64°21'03" East, a distance of 212.09' to the beginning of a tangent curve concave southwesterly having a radius of 564.34', whose radial center bears South 25°38'57" West;  
Thence southeasterly, along said curve, through a central angle of 22°48'52", an arc distance of 224.71';  
Thence South 41°32'11" East, a distance of 26.00' to the northerly R.O.W. of State Hwy. 168;

Thence along the northerly R.O.W. of State Hwy.168 the following courses:

Thence South 06°45'16" West, a distance of 48.99' to the beginning of a non-tangent curve concave southeasterly having a radius of 3123.89', whose radial center bears South 34°57'13" East;  
Thence southwesterly, along said curve through a central angle of 06°34'58", an arc distance of 358.91';  
Thence South 48°27'49" West, a distance of 268.46' to the beginning of a tangent curve concave northwesterly having a radius of 7880.75', whose radial center bears North 41°32'11" West;  
Thence southwesterly along said curve through a central angle of 06°58'52", an arc distance of 960.22';  
Thence South 55°26'41" West, a distance of 4870.48', to the west line of the SE qtr. of the SE qtr. of said Sec.26;

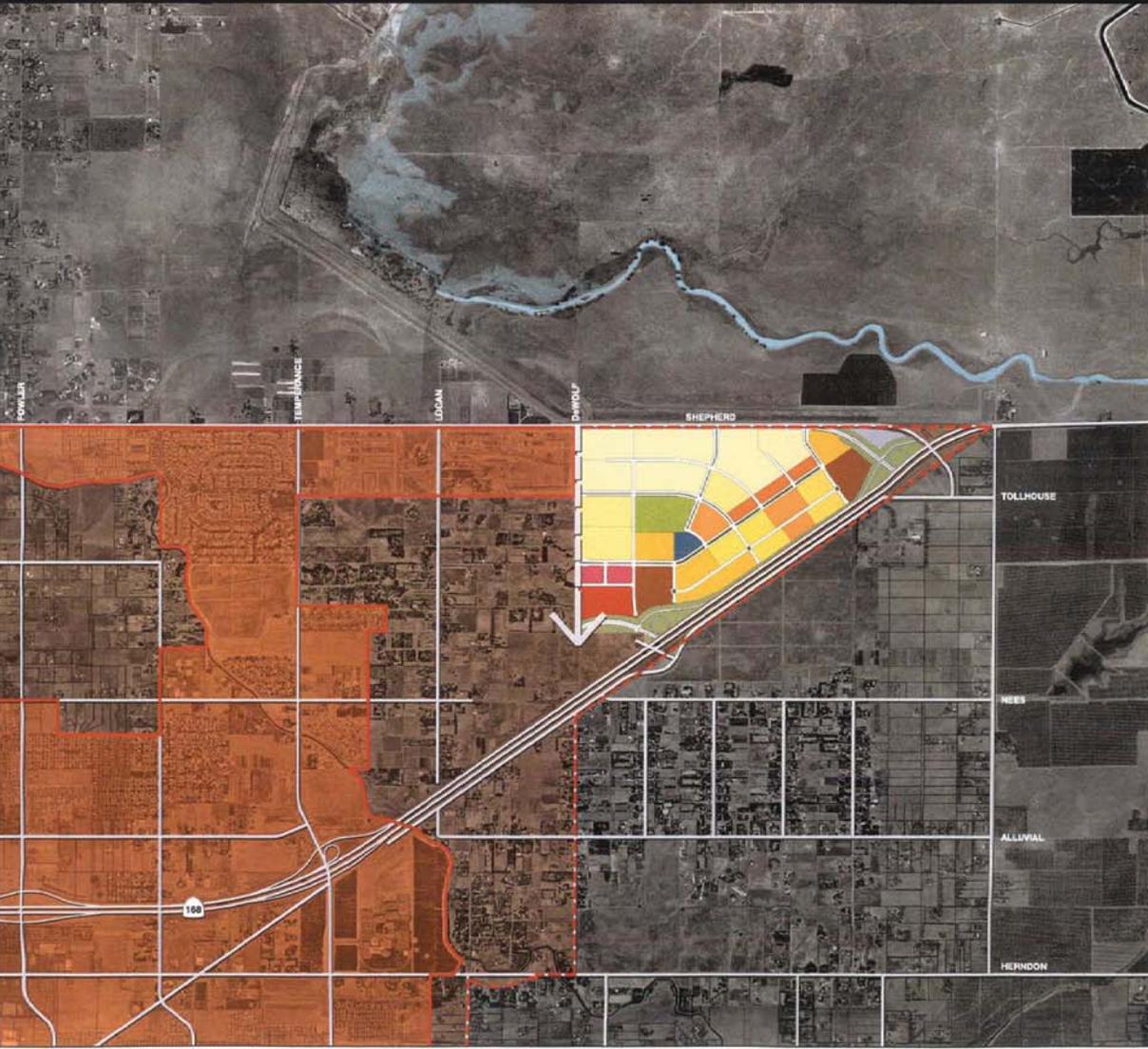
Thence, leaving said northerly R.O.W. of State Hwy.168 North 00°49'07" East, along said west line, a distance of 247.34', to the NW corner of said SE qtr. of the SE qtr.;

Thence North 89°33'03" West, along the south line of the NW qtr. of the SE qtr. of said Sec.26, a distance of 1320.34' to the west line of the SE qtr. of said Sec.26;  
Thence North 00°45'38" East, along the west line of the SE qtr. of said Sec.26, a distance of 1320.17' to the Center Quarter Corner of said Sec.26;  
Thence North 00°49'05" East, along the west line of the NE qtr. of said Sec.26, a distance of 2611.74' to the TRUE POINT OF BEGINNING.

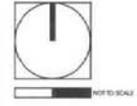
LESS AND EXCEPT all that part of Parcel 2 of Parcel Map 2506, recorded as Doc.No. 80473, in Book 18 of Parcel Maps at Pg.25, O.R.F.C., recorded October 23, 1975;

LESS AND EXCEPT all that part of Parcel 1 of Tract No. 3667, recorded as Doc.No. 85105714, in Volume 43 of Plats at Pg.72, F.C.R., recorded October 18, 1985.

Contains 389.240 acres, more or less.



- COLOR HARLAN RANCH
- CLOVIS CITY LIMITS BOUNDARY
- CITY OF CLOVIS
- CLOVIS SPHERE OF INFLUENCE BOUNDARY
- CLOVIS SPHERE OF INFLUENCE





# Site Description and Analysis

## SECTION SITE DESCRIPTION AND ANALYSIS

## SITE ANALYSIS MAP

## SITE PHOTOGRAPHS

### INTRODUCTION

#### PROJECT LOCATION

The Harlan Ranch master planned community is located in the northeastern part of the Fresno/Clovis metropolitan area. Located within the City of Clovis Sphere of Influence (SOI), the triangularly-shaped property is approximately 389.24 +/- acres. Regional access is provided by roadways binding the property including Shepherd Avenue along the north, Highway 168 along the southeast and DeWolf Avenue to the west.

#### SURROUNDING LAND USES AND DEVELOPMENT

Harlan Ranch is located in a developing area of northeastern Clovis (see *Site Analysis Map* to right). Trends for residential development and annexation of parcels along the south side of Shepherd Avenue continue eastward, to the north-south alignment of DeWolf Avenue. This alignment is not yet improved, but will be developed as the project does. Large-lot, single-family residential uses also exist along the southwestern portion of this alignment. There is a significant amount of vacant land to the southeast of the project, separated by Highway 168 and Tollhouse Road. Some of the land located directly south of Nees Avenue is state-owned. The extension and improvement of Highway 168 has been completed recently, with future Caltrans grade-separated on- and off-ramps proposed at Nees and Shepherd Avenues. Currently, these intersections are controlled by stop lights. Along the north edge of the property, Shepherd Avenue separates the site from vast open space lands and controlled inundation of Big Dry Creek Reservoir.

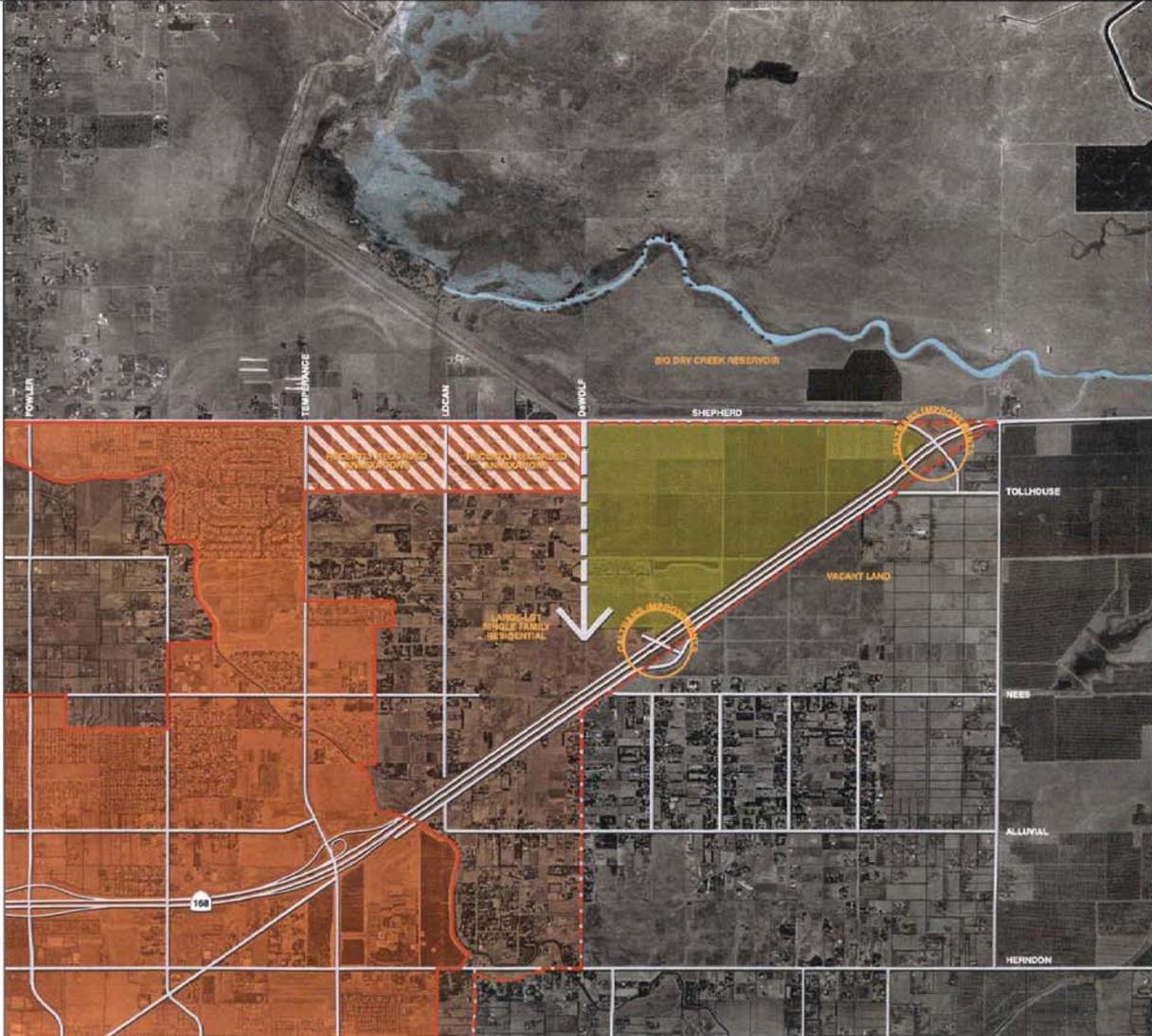
#### EXISTING SITE CONDITIONS

In the City of Clovis General Plan Program, the Harlan Ranch property is currently planned for a low density residential use, with some mixed use at the intersection of Highway 168 and Shepherd Avenue. Presently, the site is used for agriculture, containing primarily orchards of older growth orange trees.

Topographically, the site is characterized as flat to gently sloping in the north to south direction. The property does not have any distinguishing geological formations due to its relative flatness, nor is there any significant native vegetation except for those orchards created by agricultural operations. Furthermore, there are no existing buildings or large facilities on-site related to ranching and agricultural operations.

#### OPPORTUNITIES AND CONSTRAINTS

Due to the existing conditions of the site, the site is suitable for a mixed use development project. The opportunity to create a community of charm and character will rely significantly on the community theme and design of the project. The opportunity for Harlan Ranch is to create a diverse community with an efficient land use pattern that encourages pedestrian activity and sound vehicular circulation with adjacent neighborhoods. The greatest challenge to the project, is the edge treatment to the site along Highway 168.



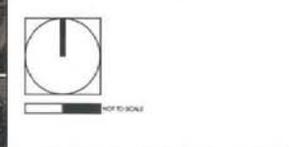
Orange groves across site looking south from adjacent open space along Shepherd Avenue.



Intersection of Shepherd Avenue and Highway 168 looking southwest towards Clovis.

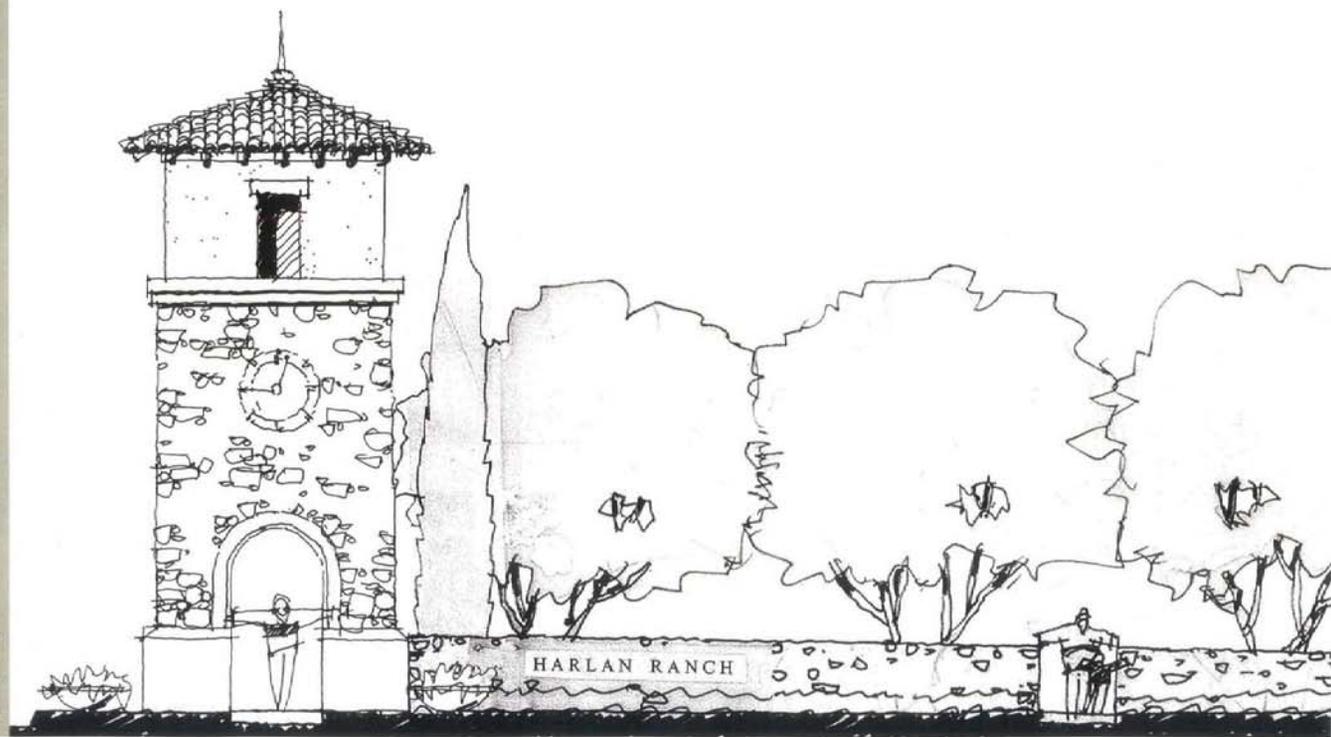


Interior site condition of power poles and agricultural operations.



Harlan Ranch  
A CLOVIS COMMUNITY

HARLAN RANCH MASTER PLAN





# Vision and Guiding Principles

SECTION VISION AND GUIDING PRINCIPLES

HARLAN RANCH ILLUSTRATIVE PLAN

HARLAN RANCH MASTER PLAN

### VISION

Our Vision is to put forth a comprehensive planning effort that allows for creative and advanced development solutions and design opportunities, while incorporating principles of Smart Growth development and Landscape of Choice.

### GUIDING PRINCIPLES

The following Guiding Principles have been established to help guide the design of a truly, unique multi-use community. These principles were continuously applied throughout the planning process to ensure that the project's ultimate Vision and goals were successfully achieved.

#### LANDMARK

- Establish a "WELCOME" gateway for the City of Clovis
- Implement the Vision of the Clovis General Plan by designing a landmark community in conjunction with the beltway concept at Highway 168
- Explore the future possibilities of transit service to this region
- Set a model/standard for the future development of quality communities in the area

#### DIVERSITY

- Encourage different lifestyles and accommodate a variety of life stages by providing CHOICE
- Provide a healthy mix of housing products and densities that can serve multiple levels of the housing market demand and economic levels in the City of Clovis
- Increase densities to relieve pressures of prematurely encroaching on agricultural land

#### COMMUNITY STRUCTURE

- Plan smart circulation patterns, and anticipate appropriate infrastructure capacities that can accommodate future growth
- Create a framework addressing the development from community to neighborhood-levels
- Organize the community structure through village/amenity-focused planning and phasing
- Advantages of master planned development versus incremental growth

#### HEALTH and WELLNESS

- Integrate public institutions and provide a variety of recreational facilities of different sizes and types to promote recreation, education and lifelong learning
- Develop a strong pedestrian network that links the activities, recreational amenities and neighborhoods together
- Reduce dependence on vehicular traffic and create pedestrian-friendly environments for walkability

#### PLACE

- Apply innovative site planning and design solutions to create a sense of place in all environments at all scales
- Design and origin-destination network
- Build the social infrastructure...the "third" place
- Establish identity and unification through architectural and landscape treatment based on a community theme
- Create an environment that is safe and secure (CPTED - Crime Protection Through Environmental Design)





# Vision and Guiding Principles

SECTION

VISION AND GUIDING PRINCIPLES

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#### COMMUNITY STRUCTURE

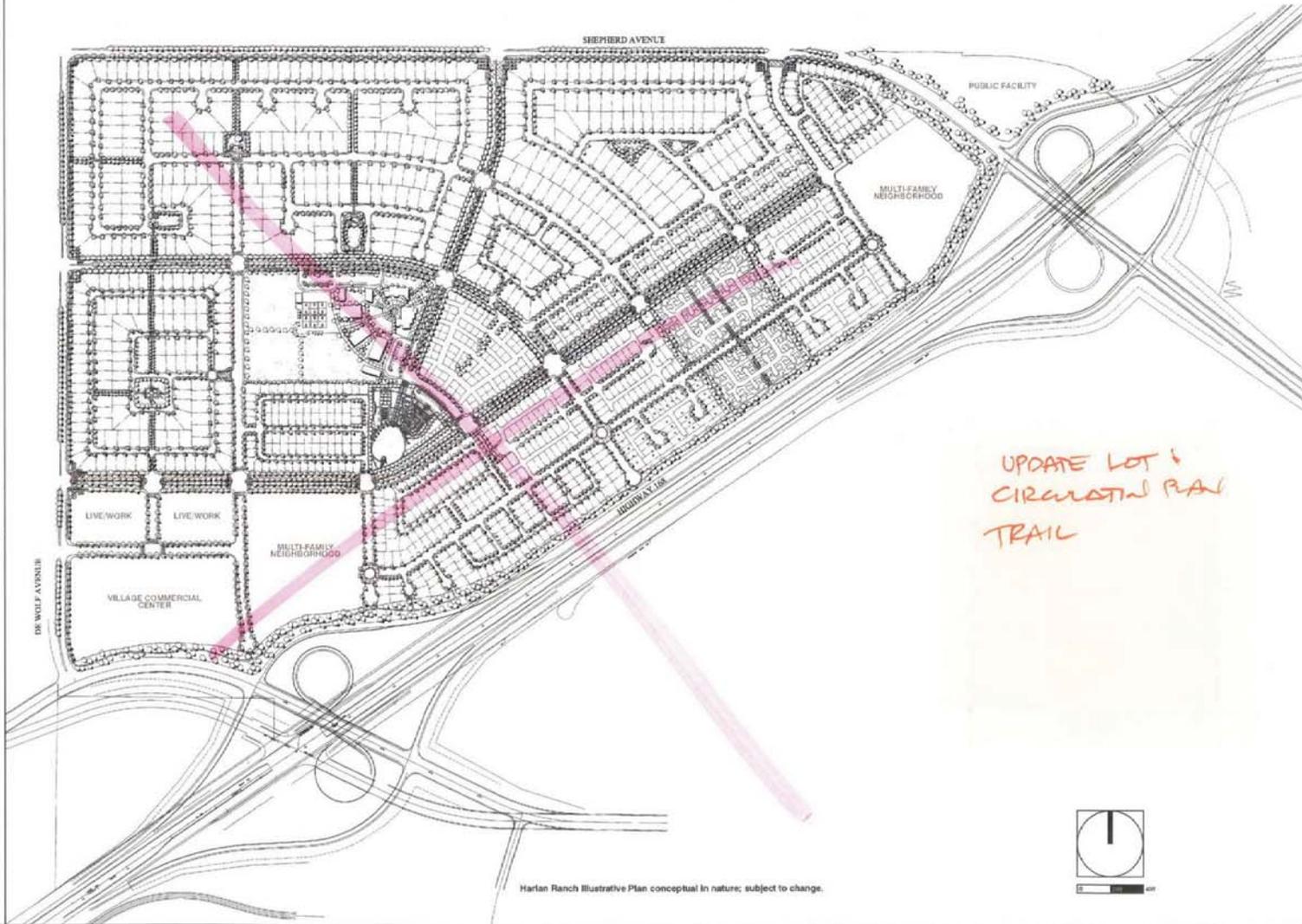
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Harlan Ranch Illustrative Plan conceptual in nature; subject to change.



# Harlan Ranch General Plan Land Use

SECTION HARLAN RANCH GENERAL PLAN LAND USE

HARLAN RANCH PROPOSED GENERAL PLAN LAND USE DESIGNATION MAP

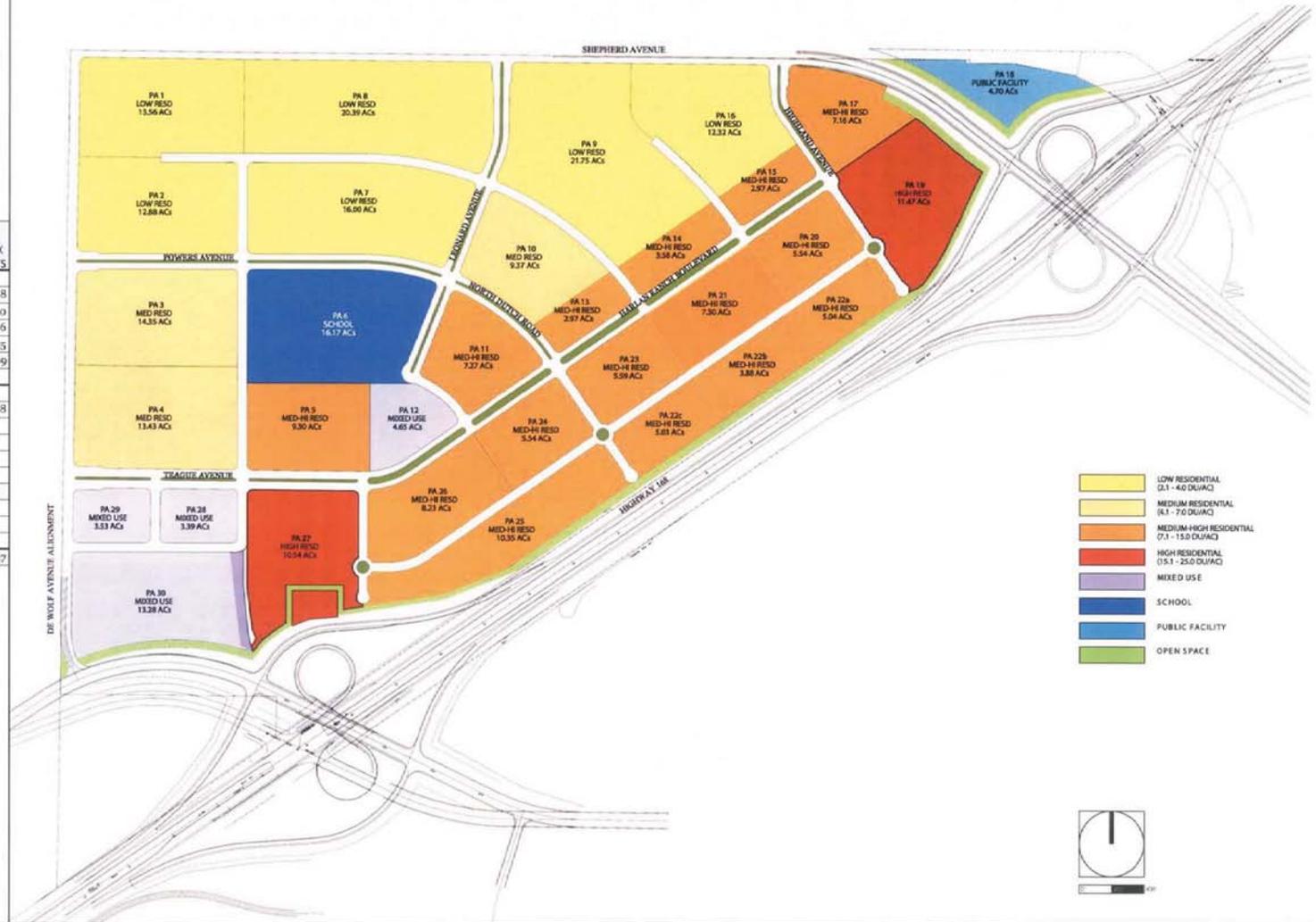
## GENERAL PLAN LAND USE

The existing General Plan land use of the site is mostly low density residential with some mixed use. The project proposes to change some two-thirds of the low density residential to a mix of medium residential, medium-high residential, high residential, public facility, school, and open space land use designations (see Harlan Ranch Proposed General Plan Land Use Designation Map to right). The plan also proposes mixed use, however relocates this land use elsewhere throughout the project.

## PROPOSED GENERAL PLAN LAND USE STATISTICAL SUMMARY

LAND USE	DENSITY RANGE	NET ACRES	PERCENT OF TOTAL ACRES	MAX UNITS
<b>RESIDENTIAL</b>				
Low Residential	2.1-4.0	96.90	24.9%	388
Medium Residential	4.1-7.0	37.15	9.5%	260
Medium-High Residential	7.1-15.0	89.75	23.1%	1,346
High Residential	15.1-25.0	23.01	5.9%	575
<b>SubTOTAL</b>		<b>245.81*</b>	<b>63.4%</b>	<b>2,569</b>
*SubTOTAL includes Neighborhood Parks/Paseos				
<b>NON-RESIDENTIAL</b>				
Mixed Use (live-work)	8.4	6.92	1.8%	58
Mixed Use (commercial)		13.28	3.4%	
Mixed Use (community rec center)		4.65	1.2%	
School		16.17	4.2%	
Public Facility		4.70	1.2%	
<b>SubTOTAL</b>		<b>45.72</b>	<b>11.7%</b>	
Linear Park		2.81	0.7%	
Open Space		11.16	2.9%	
Major Roadways**		82.74	21.3%	
<b>GRAND TOTAL</b>		<b>389.24</b>	<b>100%</b>	<b>2,627</b>

\*\*Major Roadways includes Arterial/Collector Circulation and Caltrans Improvements at Nines and Shepherd Avenues (on- and off-ramps) within the Project Boundary.



- LOW RESIDENTIAL (2.1 - 4.0 DU/AC)
- MEDIUM RESIDENTIAL (4.1 - 7.0 DU/AC)
- MEDIUM-HIGH RESIDENTIAL (7.1 - 15.0 DU/AC)
- HIGH RESIDENTIAL (15.1 - 25.0 DU/AC)
- MIXED USE
- SCHOOL
- PUBLIC FACILITY
- OPEN SPACE



HARLAN RANCH MASTER PLAN



# Harlan Ranch General Plan Land Use

SECTION

HARLAN RANCH GENERAL PLAN LAND USE

HARLAN RANCH PROPOSED GENERAL PLAN LAND USE DESIGNATION MAP

HARLAN RANCH MASTER PLAN

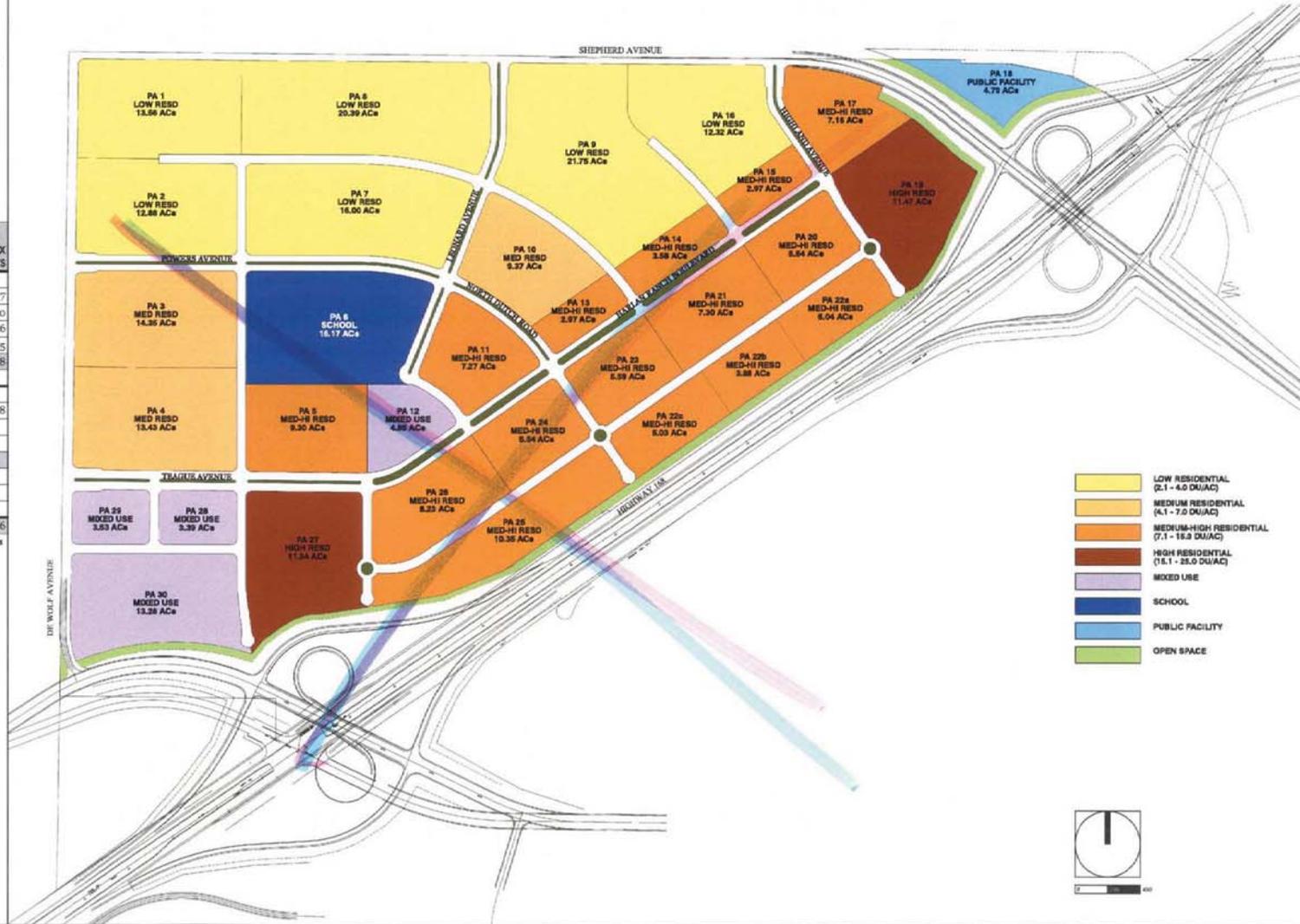
**GENERAL PLAN LAND USE**

The existing General Plan land use of the site is mostly low density residential with some mixed use. The project proposes to change some two-thirds of the low density residential to a mix of medium residential, medium-high residential, high residential, public facility, school, and open space land use designations (see *Harlan Ranch Proposed General Plan Land Use Designation Map* to right). The plan also proposes mixed use, however relocates this land use elsewhere throughout the project.

**PROPOSED GENERAL PLAN LAND USE STATISTICAL SUMMARY**

LAND USE	DENSITY RANGE	NET ACRES	PERCENT OF TOTAL ACRES	MAX UNITS
<b>RESIDENTIAL</b>				
Low Residential	2.1-4.0	96.90	24.9%	387
Medium Residential	4.1-7.0	37.15	9.5%	260
Medium-High Residential	7.1-15.0	89.75	23.1%	1346
High Residential	15.1-25.0	23.01	5.9%	575
<b>SubTOTAL</b>		<b>246.81*</b>	<b>63.4%</b>	<b>2568</b>
*SubTOTAL includes Neighborhood Parks/Paseos.				
<b>NON-RESIDENTIAL</b>				
Mixed Use	8-4	24.85	6.4%	208
School		16.17	4.2%	
Public Facility		4.70	1.2%	
<b>SubTOTAL</b>		<b>45.72</b>	<b>11.8%</b>	
Linear Park		2.81	0.7%	
Open Space		10.28	2.6%	
Major Roadways**		83.62	21.5%	
<b>GRAND TOTAL</b>		<b>389.24</b>	<b>100%</b>	<b>2776</b>

\*\*Major Roadways includes Arterial/Collector Circulation and Caltrans Improvements at Nees and Shepherd Avenues (on- and off-ramps) within the Project Boundary.



- LOW RESIDENTIAL (2.1 - 4.0 DU/AC)
- MEDIUM RESIDENTIAL (4.1 - 7.0 DU/AC)
- MEDIUM-HIGH RESIDENTIAL (7.1 - 15.0 DU/AC)
- HIGH RESIDENTIAL (15.1 - 25.0 DU/AC)
- MIXED USE
- SCHOOL
- PUBLIC FACILITY
- OPEN SPACE





# Harlan Ranch Development Plan

SECTION HARLAN RANCH DEVELOPMENT PLAN

HARLAN RANCH PROPOSED DEVELOPMENT PLAN

**DEVELOPMENT PLAN / ZONING**

The Harlan Ranch Development Plan presents a more detailed designation of the specific product types and type of land uses that are proposed within their respective General Plan land use designations (see Harlan Ranch Proposed Development Plan to right).

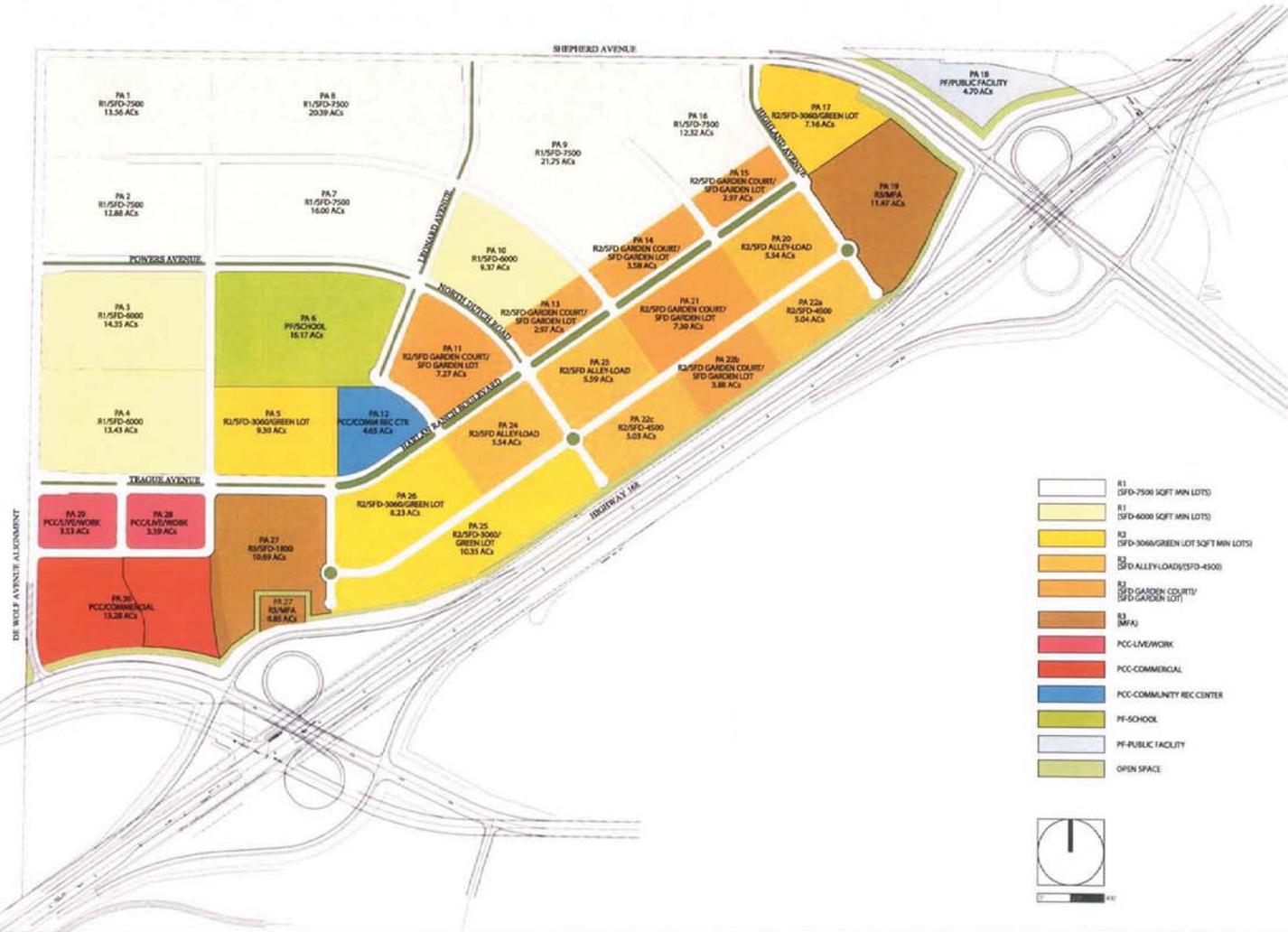
The Development Plan area is currently zoned entirely in AE-20 Exclusive Agriculture. Zone amendments to the AE-20 designation will be administered so that the base zoning standards apply where this document remains silent. AE-20 will be amended to the following designations: R-1 (Single Family Residential), R-2 (Low Density Multiple-Family Residential), R-3 (Medium Density Multiple-Family/Single Family Residential), PCC (Planned Commercial Center), and PF (Public Facilities).

With the adoption of this Master Development Plan and re-zones and pre-zones for the area, the project site's zoning will be changed from AE-20 to the zoning designation shown on the Harlan Ranch Proposed Development Plan with a "MPC" Overlay District suffix. The development standards contained in this document will provide the development requirements and guidelines for the property.

**PROPOSED DEVELOPMENT PLAN STATISTICAL SUMMARY**

ZONE	LAND USE/PRODUCT	MAX DENSITY/ F.A.R.	NET ACRES	% OF TOTAL ACRES	MAX UNITS
<b>RESIDENTIAL</b>					
R1	SFD-7500 SqFt Min Lots	3-4	95.9	27.9%	331
R1	SFD-6000 SqFt Min Lots	4-4	37.15	9.5%	164
R2	SFD-4500 SqFt Min Lots	7-3	10.07	2.6%	74
R2	SFD-3060/Green Lot SqFt Min Lots	8.1	35.04	9.0%	283
R2	SFD Alley-Load	8.8	16.67	4.3%	147
R2	SFD Garden Court/ SFD Garden Lot	9.1	27.97	7.2%	255
R3	SFD-1800 SqFt Min Lots	15.5	10.69	2.7%	166
R3	MFA	15.1	12.32	3.2%	186
<b>SubTOTAL</b>			<b>246.81*</b>	<b>63.4%</b>	<b>1,606</b>
*SubTOTAL includes Neighborhood Parks/Paseos.					
<b>NON-RESIDENTIAL</b>					
PCC	Live/Work	8-4	6.92	1.8%	58
PCC	Commercial	0-35	13.28	3.4%	
PCC	Community Rec Center	0-25	4.65	1.2%	
<b>SubTOTAL</b>			<b>24.85</b>	<b>6.4%</b>	
PF	Elementary School		16.17	4.2%	
PF	Public Facility	0-2	4.70	1.2%	
<b>SubTOTAL</b>			<b>20.87</b>	<b>5.4%</b>	
	Linear Park		2.81	0.7%	
	Open Space		11.16	2.9%	
	Major Roadways**		82.74	21.3%	
<b>GRAND TOTAL</b>			<b>389.24</b>	<b>100%</b>	<b>1,664</b>

Note: Figures under Max Density may not calculate exactly due to rounding error.  
\*\*Major Roadways includes Arterial/Collector Circulation and Caltrans Improvements at Nees and Shepherd Avenues (on- and off-ramp) within the Project Boundary.



HARLAN RANCH MASTER PLAN



# Harlan Ranch Development Plan

SECTION

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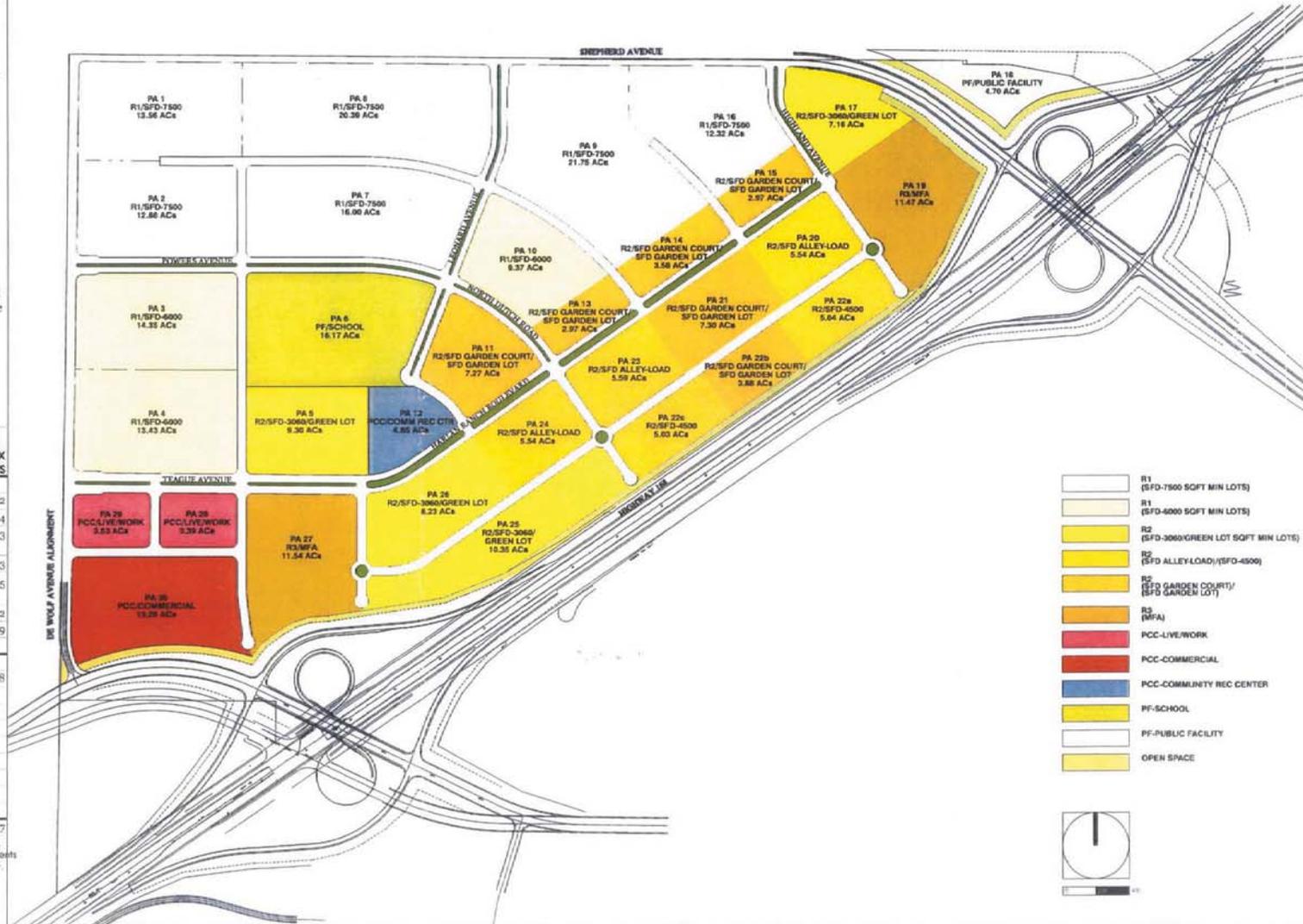
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With the adoption of this Master Development Plan and re-zones and pre-zone for the area, the project site's zoning will be changed from AE-20 to the zoning designation shown on the Harlan Ranch Proposed Development Plan with a "MPC" Overlay District suffix. The development standards contained in this document will provide the development requirements and guidelines for the property.

## PROPOSED DEVELOPMENT PLAN STATISTICAL SUMMARY

ZONE	LAND USE/PRODUCT	MAX DENSITY/ F.A.R.	NET ACRES	% OF TOTAL ACRES	MAX UNITS
<b>RESIDENTIAL</b>					
R1	SFD-7500 SqFt Min Lots	3.5	96.90	24.9%	342
R1	SFD-6000 SqFt Min Lots	4.4	37.15	9.5%	164
R2	SFD-3060/Green Lot SqFt Min Lots	8.1	35.04	9.0%	283
R2	SFD Alley-Load	8.0	26.74	6.9%	213
R2	SFD Garden Court/ SFD Garden Lot	9.1	27.97	7.2%	255
R3	MFA	19.6	23.01	5.9%	452
<b>SubTOTAL</b>			<b>246.81*</b>	<b>63.4%</b>	<b>1709</b>
*SubTOTAL includes Neighborhood Parks/Paseos.					
<b>NON-RESIDENTIAL</b>					
PCC	Live/Work	8.4	6.92	1.8%	58
PCC	Commercial	0.35	13.28	3.4%	
PCC	Community Rec Center	0.25	4.65	1.2%	
PF	Elementary School	--	16.17	4.2%	
PF	Public Facility	0.2	4.70	1.2%	
<b>SubTOTAL</b>			<b>45.72</b>	<b>11.8%</b>	
	Linear Park		2.81	0.7%	
	Open Space		10.28	2.6%	
	Major Roadways**		83.62	21.5%	
<b>GRAND TOTAL</b>			<b>389.34</b>	<b>100%</b>	<b>1767</b>

Note: Figures under Max Density may not calculate exactly due to rounding error.  
\*\*Major Roadways includes Arterial/Collector Circulation and Caltrans Improvements at Nees and Shepherd Avenues (on- and off-ramps) within the Project Boundary.



HARLAN RANCH MASTER PLAN

# Harlan Ranch Development Plan

SECTION HARLAN RANCH DEVELOPMENT PLAN

HARLAN RANCH PROPOSED DEVELOPMENT PLAN

## DEVELOPMENT PLAN / ZONING

The Harlan Ranch Development Plan presents a more detailed designation of the specific product types and type of land uses that are proposed within their respective General Plan land use designations (see *Harlan Ranch Proposed Development Plan* to right).

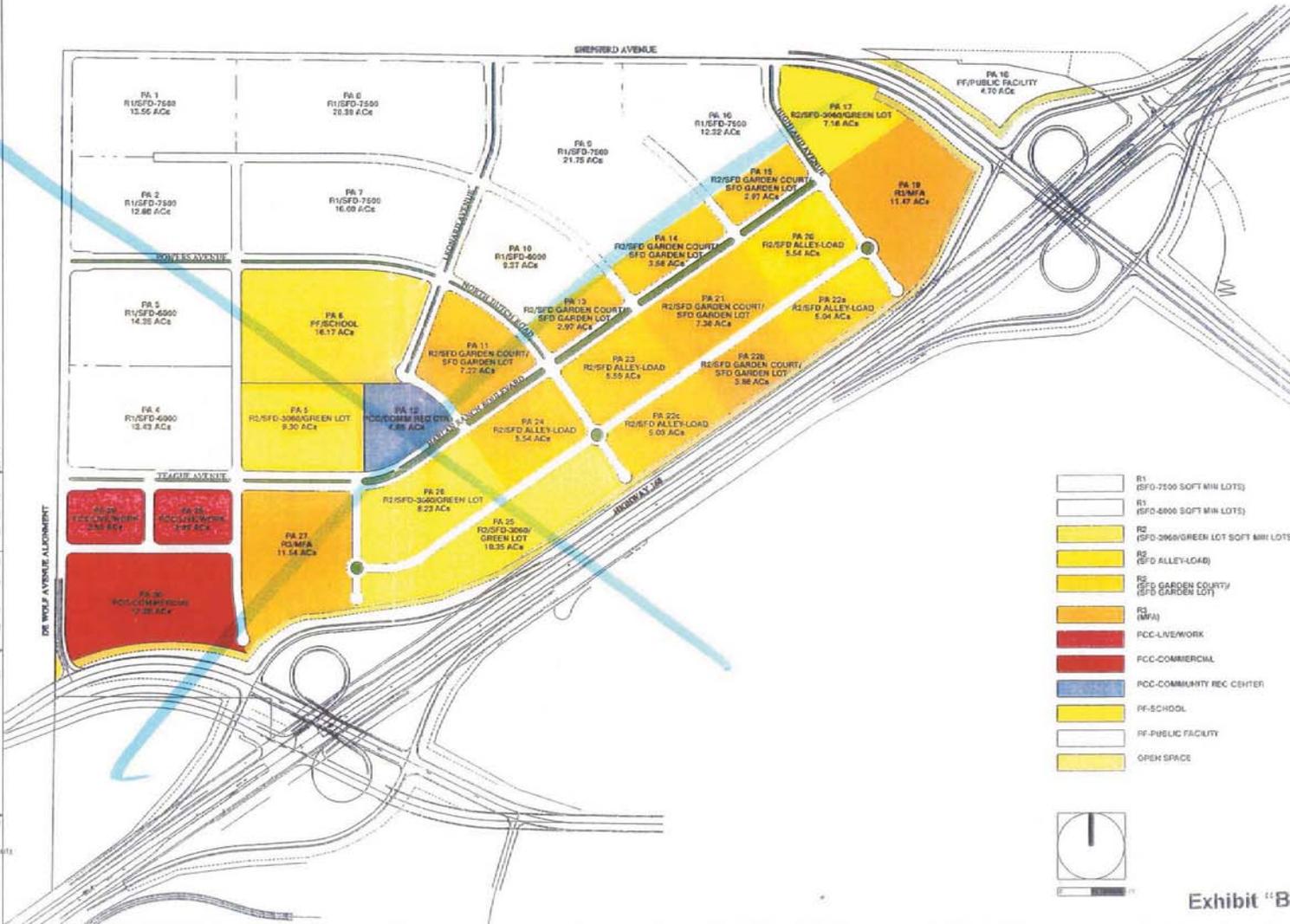
The Development Plan area is currently zoned entirely in AE-20 Exclusive Agriculture. Zone amendments to the AE-20 designation will be administered so that the base zoning standards apply where this document remains silent. AE-20 will be amended to the following designations: R-1 (Single Family Residential), R-2 (Low Density Multiple-Family Residential), R-3 (Medium Density Multiple-Family Residential), PCC (Planned Commercial Center), and PF (Public Facilities).

With the adoption of this Master Development Plan and re-zones and pre-zone for the area, the project site's zoning will be changed from AE-20 to the zoning designation shown on the Harlan Ranch Proposed Development Plan with a "MPC" Overlay District suffix. The development standards contained in this document will provide the development requirements and guidelines for the property.

## PROPOSED DEVELOPMENT PLAN STATISTICAL SUMMARY

ZONE	LAND USE/PRODUCT	MAX DENSITY/ F.A.B.	NET ACRES	% OF TOTAL ACRES	MAX UNITS
<b>RESIDENTIAL</b>					
R1	SFD-7500 SqFt Min Lots	3.5	96.90	24.9%	342
R2	SFD-6000 SqFt Min Lots	4.4	37.15	9.5%	164
R2	SFD-3060/Green Lot SqFt Min Lots	8.1	35.04	9.0%	283
R2	SFD Alley-Load	8.0	26.74	6.9%	213
R2	SFD Garden Court/ SFD Garden Lot	9.1	27.97	7.2%	255
R3	MFA	19.6	23.01	5.9%	452
<b>SubTOTAL</b>			<b>246.81*</b>	<b>63.4%</b>	<b>1709</b>
*SubTOTAL includes Neighborhood Forks/Fasces.					
<b>NON-RESIDENTIAL</b>					
PCC	Live/Work	8.4	6.92	1.8%	58
PCC	Commercial	0.35	13.28	3.4%	
PCC	Community Rec Center	0.35	4.65	1.2%	
PF	Elementary School	-	16.17	4.2%	
PF	Public Facility	0.2	4.70	1.2%	
<b>SubTOTAL</b>			<b>45.72</b>	<b>11.8%</b>	
Linear Park			2.51	0.7%	
Open Space			10.28	2.6%	
Major Roadways**			83.62	21.5%	
<b>GRAND TOTAL</b>			<b>309.24</b>	<b>100%</b>	<b>1767</b>

Note: Figures under Max Density may not calculate exactly due to rounding error.  
\*\*Major Roadway includes Arroyo/Callejon, Calkins, and Collins Improvements at Mees and Shepherd Avenues (on- and off-ramps) within the Project Boundary.



HARLAN RANCH MASTER PLAN



# Harlan Ranch Development Plan

## HARLAN RANCH MASTER PLAN

### SECTION HARLAN RANCH DEVELOPMENT PLAN

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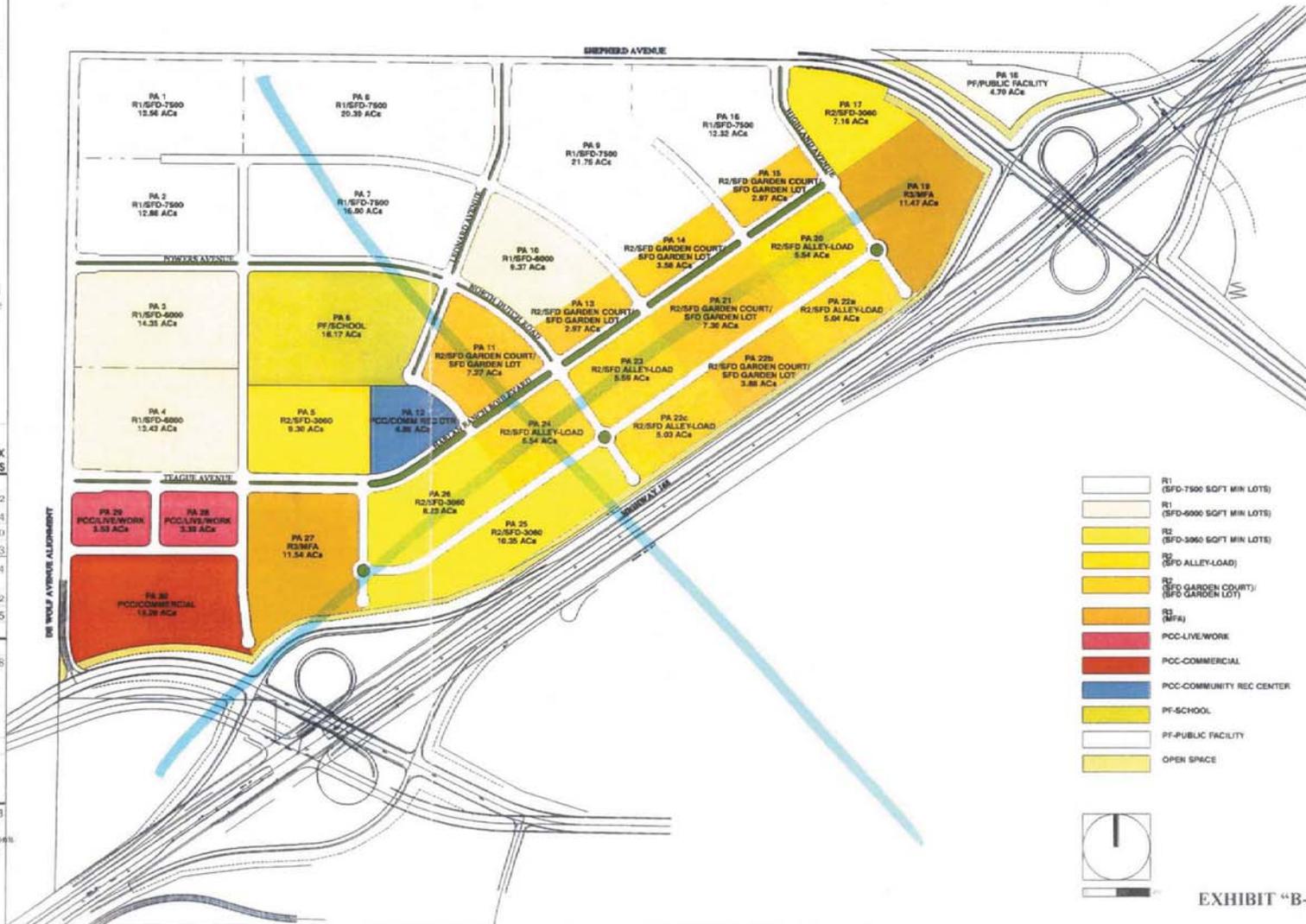
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R1	SFD-6000 SqFt Min Lots	4.4	37.15	9.5%	164
R2	SFD-3060 SqFt Min Lots	8.8	35.04	9.0%	310
R2	SFD Alley-Load	8.0	26.74	6.9%	213
R2	SFD Garden Court/ SFD Garden Lot	9.8	27.97	7.2%	274
R3	MFA	19.6	23.01	5.9%	452
<b>SubTOTAL</b>			<b>246.81*</b>	<b>63.4%</b>	<b>1755</b>
*SubTOTAL includes Neighborhood Parks/Passes.					
<b>NON-RESIDENTIAL</b>					
PCC	Live/Work	8.4	6.92	1.8%	58
PCC	Commercial	0.35	13.28	3.4%	
PCC	Community Rec Center	0.25	4.65	1.2%	
PF	Elementary School	-	16.17	4.2%	
PF	Public Facility	0.2	4.70	1.2%	
<b>SubTOTAL</b>			<b>45.72</b>	<b>11.8%</b>	
	Linear Park		2.81	0.7%	
	Open Space		10.28	2.6%	
	Major Roadways**		83.62	21.5%	
<b>GRAND TOTAL</b>			<b>389.24</b>	<b>100%</b>	<b>1813</b>

Note: Figures under Max Density may not calculate exactly due to rounding error.  
\*\*Major Roadways includes Arterial/Collector Circulation and Caltrans Improvements of Nees and Shepherd Avenues (on- and off-ramps) within the Project Boundary.

### SECTION HARLAN RANCH PROPOSED DEVELOPMENT PLAN





# Harlan Ranch Development Plan

SECTION

HARLAN RANCH DEVELOPMENT PLAN

HARLAN RANCH PROPOSED DEVELOPMENT PLAN

HARLAN RANCH MASTER PLAN

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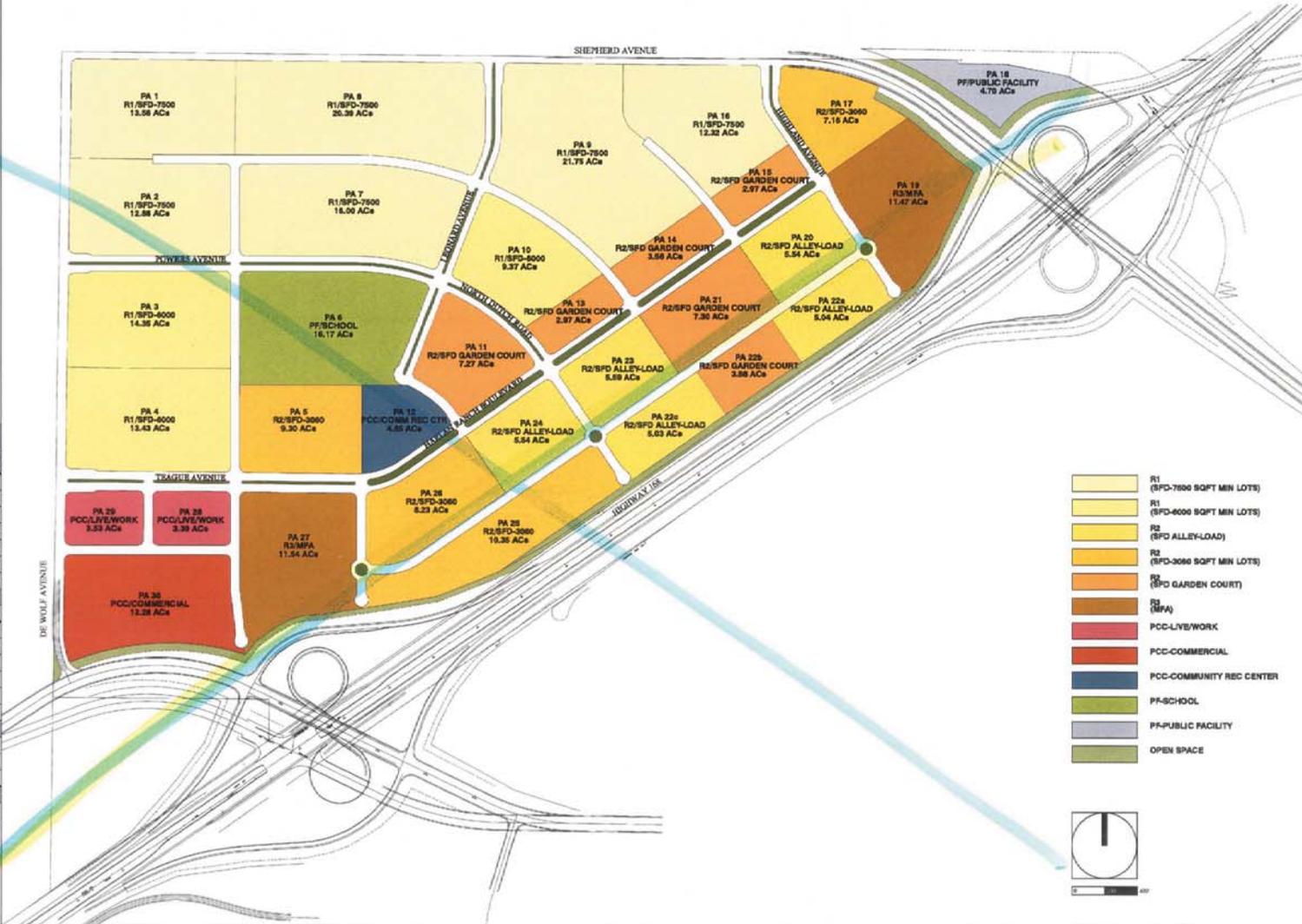
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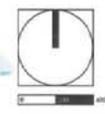
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R2	SFD-3060 SqFt Min Lots	8.8	35.04	9.0%	310
R2	SFD Garden Court	10.9	27.97	7.2%	305
R3	MFA	19.6	23.01	5.9%	452
<b>SubTOTAL</b>			<b>246.81*</b>	<b>63.4%</b>	<b>1786</b>
<b>*SubTOTAL includes Neighborhood Parks/Paseos.</b>			<b>5.40</b>	<b>1.4%</b>	
<b>NON-RESIDENTIAL</b>					
PCC	Live/Work	8.4	6.92	1.8%	58
PCC	Commercial	0.35	13.28	3.4%	
PCC	Community Rec Center	0.25	4.65	1.2%	
PF	Elementary School	--	16.17	4.2%	
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Open Space			10.28	2.6%	
Major Roadways**			83.62	21.5%	
<b>GRAND TOTAL</b>			<b>389.24</b>	<b>100%</b>	<b>1844</b>

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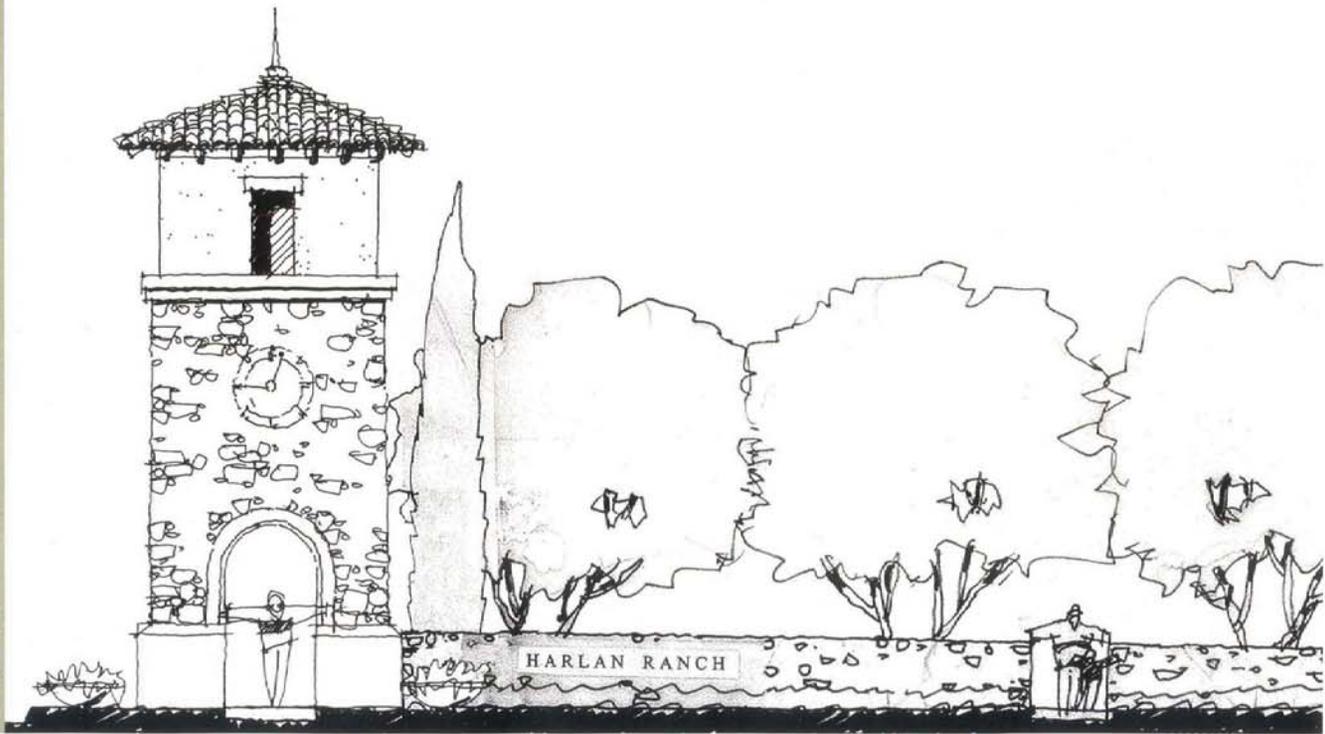


- R1 (SFD-7500 SQFT MIN LOTS)
- R1 (SFD-6000 SQFT MIN LOTS)
- R2 (SFD ALLEY-LOAD)
- R2 (SFD-3060 SQFT MIN LOTS)
- R2 (SFD GARDEN COURT)
- R3 (MFA)
- PCC-LIVE/WORK
- PCC-COMMERCIAL
- PCC-COMMUNITY REC CENTER
- PF-SCHOOL
- PF-PUBLIC FACILITY
- OPEN SPACE



Harlan Ranch  
A CLOVIS COMMUNITY

COMMUNITY DESIGN DEVELOPMENT STANDARDS





# Community Theme and Character

SECTION COMMUNITY THEME AND CHARACTER

EARLY CALIFORNIA MONTAGE

PORTRAIT OF A COMMUNITY

The theme for Harlan Ranch takes its cue from the history and setting of early 20th century California. From the pastoral backdrop of rows of orange trees to the rich expression of Arts and Crafts architecture, Harlan Ranch awakens the spirit of early California that enriches the soul. The heritage of Harlan Ranch can be found in its agricultural roots, as a farm supplying food to America. This heritage melded with turn of the century California architecture and planning, gives Harlan Ranch its new found identity. Harlan Ranch will be a community of neighbors connected by shared values of family and community. Scenes of children playing games in neighborhood pocket parks, grandparents sitting in rocking chairs on front yard porches and families taking an evening stroll along tree-lined streets will be a common sight in Harlan Ranch.

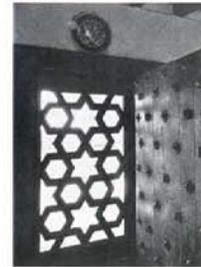
EARLY CALIFORNIA ARCHITECTURE

Architecture in Harlan Ranch will reflect the variety and styles found in California at the turn of the 20th century. The architectural styles preeminent in Harlan Ranch will be a contemporary blend of the forms, materials, colors, and textures of Craftsman/Bungalow, California Colonial, Country French and English, Ranch, Mediterranean, and Italianate. These styles reflect the architecture found in California and the Central Valley in the early part of the last century.

The architecture was typically simple, appropriate to its rural setting and honest in its use of materials. Selective and fine architectural detailing finished strong architectural massing and building forms, that expressed structural consideration. Enormous stone or brick exterior chimneys suggested a broad hearth and a warm happy family life within. Fresh air and sunshine were considered essential to health and comfort, and so there had to be at least one outdoor room for fair-weather dining, sitting or visiting. This could be a central courtyard in a hacienda or a pergola in a Craftsman home. The warm weather of this region however, also necessitated the integration and extension of porch and shade structures. Long, low roof lines, arches and shaded corridors were constructed of building materials usually from what was readily available and economical in the area. These materials used as a part of the gates, roof tiles, beams, and window shutters blended together to create the charm and harmony so distinctive of this period.

EARLY CALIFORNIA LANDSCAPE

Ideally the indoors and outdoors were blended to encourage relaxed communication between the inhabitants and nature. The Central Valley's agricultural history is painted by memories and pristine vistas of citrus groves, orchards and mature windrows that gracefully defined family ranches and estates. The early California landscape is dominated by formal rows of agricultural crop, hillsides adorned of vineyards or the occasional lonesome oak tree, and groupings of large sycamores as so fondly captured in the Plein-Air period. These elements of a majestic early California landscape united with a creative architectural spirit, reflect the essence and inspiration to a portrait of the Harlan Ranch.



The early California tapestry is remembered for the stewardship of the land that has been refined over time, by experience and natural change, to a place always with meaning.

While the formula remains the same, exploration to a new place with new variables, affords a new portrait of the Harlan Ranch.

SOURCE: Photographs referenced from <http://www.callifornia.us/pc/pca/pca1.html> [Henry W. Hall's, A.I.A. "A Country House in Early California Style"] and [www.sjvix.org](http://www.sjvix.org) [San Joaquin Valley and Sierra Foothills Photo Heritage].



# Community Design Structure

SECTION

COMMUNITY DESIGN

HARLAN RANCH COMMUNITY DESIGN STRUCTURE DIAGRAM

COMMUNITY DESIGN DEVELOPMENT STANDARDS

### PURPOSE AND COMPLIANCE

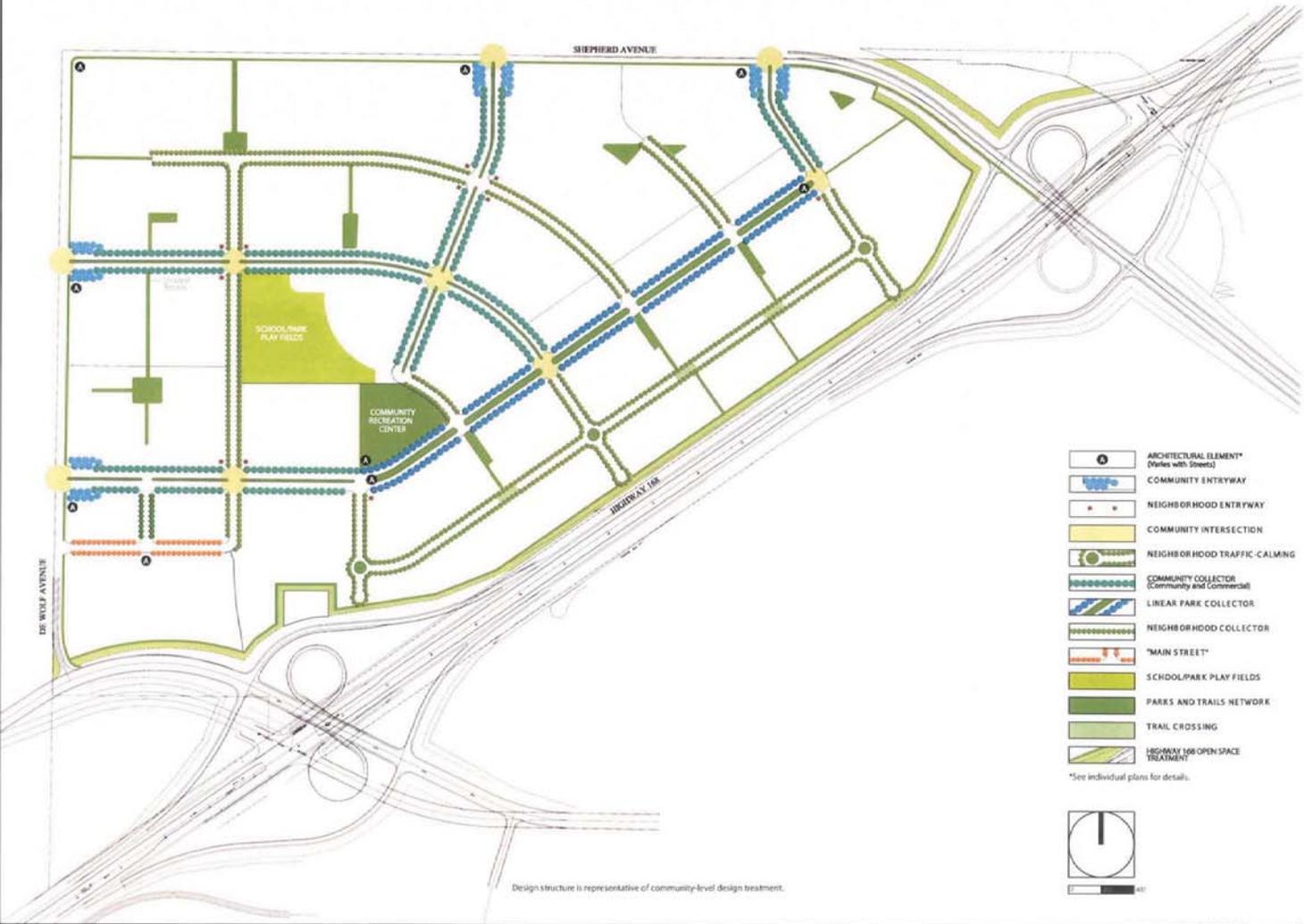
The purpose of this Section is to set the development standards for the Community Design element of the Harlan Ranch. These standards address the design features and amenities of the streetscape, landscape and recreation (see Harlan Ranch Community Design Structure Diagram to right). All development shall comply with the text, standards and associated tables and exhibits illustrated in this Section. Where this Development Handbook remains silent, the provisions and definitions within the City of Clovis Municipal Code shall apply. Where a conflict exists between these development standards and the City of Clovis Municipal Code, the standards contained herein shall apply.

This Section is organized into development standards for streetscape, landscape and recreation. Within each of these subsections are detailed development standards and design illustrations that handle the requirements and concepts for each design component.

### COMMUNITY DESIGN

Harlan Ranch is envisioned as a master planned community composed of a variety of residential neighborhoods, public and private recreational facilities, and a local-serving commercial center with an intimate "Main Street" component. The variety of housing types, activities and amenities within the community unite as a synergistic whole to create a very sociable, quality of life enrichment environment. The complementary mix of neighborhoods are organized by intensity for the best compatibility to adjacent surrounding land uses and those proposed within the community. They are held together by a strong circulation plan, emphasized by well landscaped streetscapes and a network of parks and trails that connect the community for the pedestrian.

As a part of the development, there are two identifiable activity centers. In the southwestern corner of the community, is a local-serving commercial center providing the project residents and the community at-large with retail services and a place of gathering. Within this commercial center is a "Main Street" - Live/Work component designed for a smaller, more intimate scale of shopping with outdoor dining, boutique shops, coffee and ice cream parlors, and home/office uses. The other activity center is located in the heart of the community including the community recreation center and the elementary school. These uses resemble the significance and commitment to health and wellness, and education. The project's community recreation center provides a community recreation building, pool and other special amenities not found in the smaller neighborhood parks. In addition to this recreation space, the elementary school adjacent provides ballfields for active recreation, while the linear park feature, a central spine of the community, radiates out from this activity center. The linear park is a special amenity reminiscent of old traditional neighborhoods and designed to encourage walking and connectivity between the major community elements down to the individual neighborhoods. Parks throughout the community vary in both physical scale and their program amenities, to instill uniqueness and variety.



- ARCHITECTURAL ELEMENT\* (Notes with Streets)
- COMMUNITY ENTRYWAY
- NEIGHBORHOOD ENTRYWAY
- COMMUNITY INTERSECTION
- NEIGHBORHOOD TRAFFIC-CALMING
- COMMUNITY COLLECTOR (Community and Conterradal)
- LINEAR PARK COLLECTOR
- NEIGHBORHOOD COLLECTOR
- "MAIN STREET"
- SCHOOL/PARK PLAY FIELDS
- PARKS AND TRAILS NETWORK
- TRAIL CROSSING
- HIGHWAY 168 OPEN SPACE TREATMENT

\*See individual plans for details.



Design structure is representative of community-level design treatment.



# Community Design Structure

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HARLAN RANCH COMMUNITY DESIGN STRUCTURE DIAGRAM

COMMUNITY DESIGN DEVELOPMENT STANDARDS

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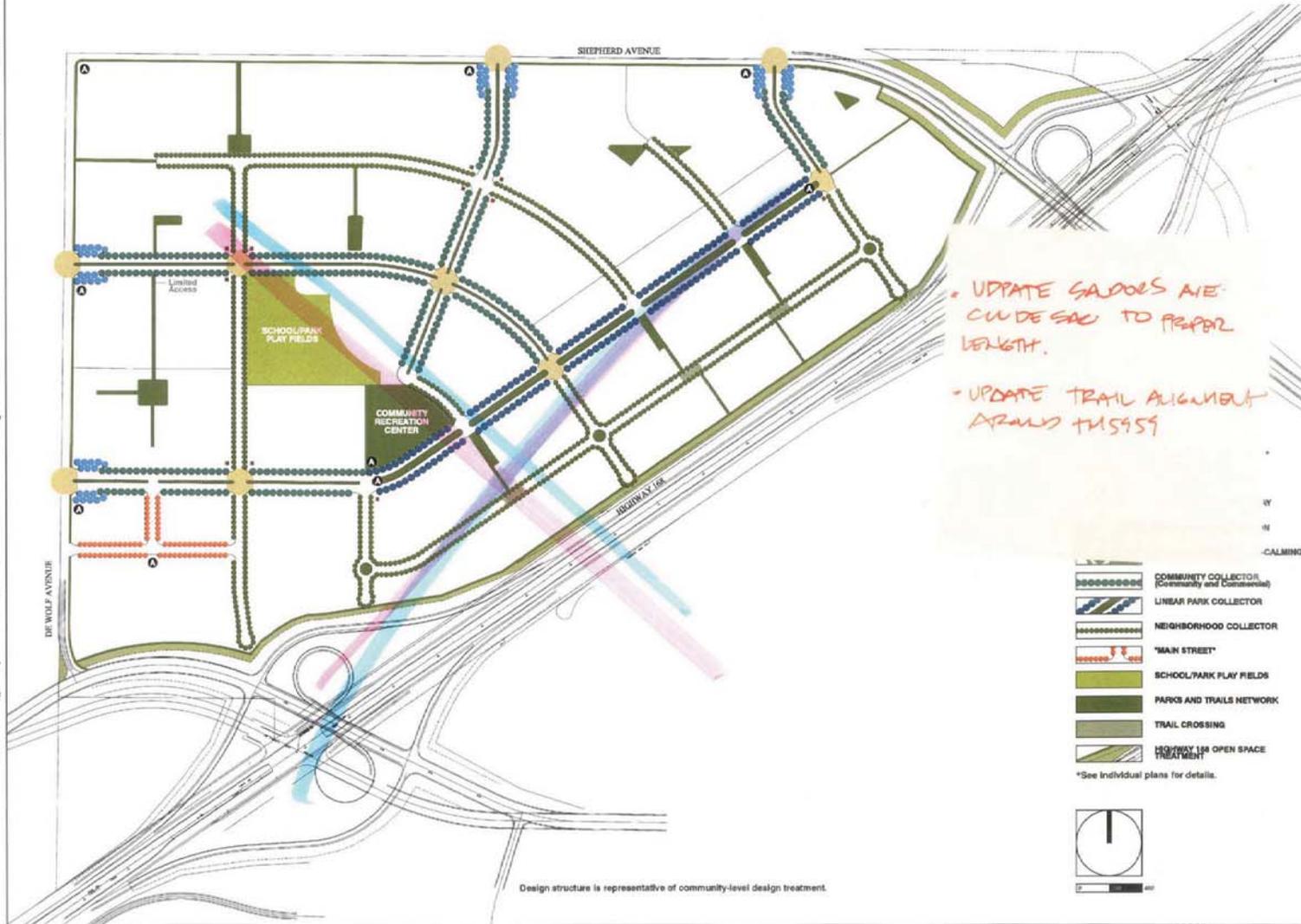
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Design structure is representative of community-level design treatment.



# Streetscape Development Standards

SECTION STREETScape DEVELOPMENT STANDARDS

CIRCULATION PLAN

COMMUNITY DESIGN DEVELOPMENT STANDARDS

### STREETScape DESIGN PROGRAM

The program for this subsection of the Community Design Development Standards is organized to address the design detail of the project's streetscape. The following pages document the requirements for development of the community's street sections and traffic calming measures, including landscaping and lighting related to these areas.

### CIRCULATION PLAN

The Harlan Ranch project circulation is handled through a hierarchy of collector streets that meet two regional arterials binding the community to the north and west, respectively - Shepherd and DeWolf Avenues (see Circulation Plan to right). Highway 168, located along the southeast edge of the property, also extends accessibility to this region with on- and off-ramps proposed at both Nees and Shepherd Avenues. Future grade-separated improvements to these interchanges are proposed by Caltrans, as traffic volumes deem necessary.

Internally, the collector system of the community is organized into two distinctive categories, community- and neighborhood-serving. Community-serving collectors include the community, commercial and linear park collectors. These three street types represent the backbone circulation pattern and the primary points of entry into the community. They are supported by a secondary, neighborhood-serving collector system that provides access into each of the individual neighborhood components. Within each of these neighborhoods is a local street type designed to fit the character of that neighborhood.

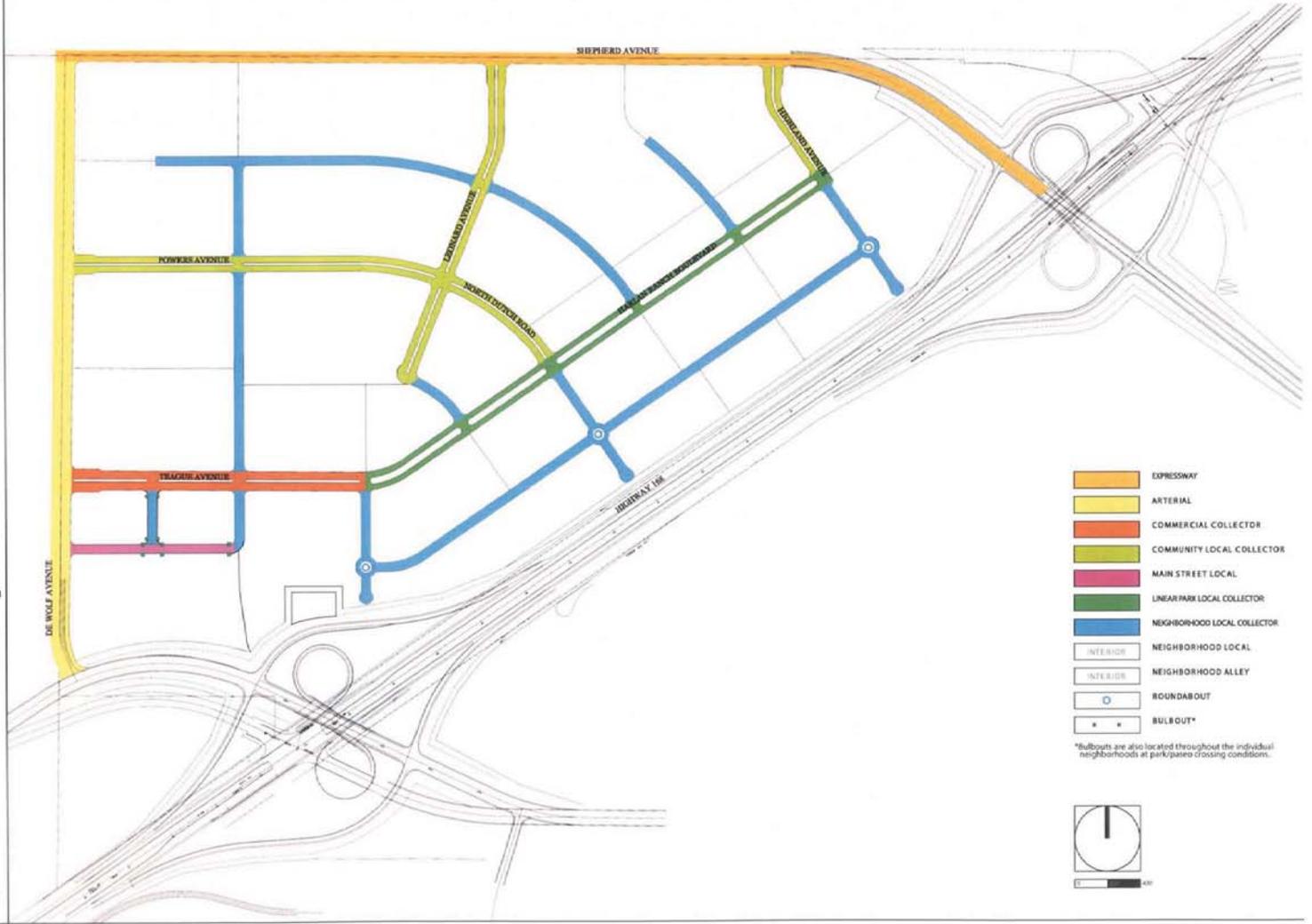
### STREETScape DESIGN

Based on the circulation plan discussed above, each street-type has its own set of design standards. These design standards may vary slightly within each of the roadway classifications, due to the conditions and design needs required by adjacent land uses. All roadways shall be constructed in accordance with the Street Sections illustrated and discussed in the following pages. The incorporation of landscaping within the right-of-ways is purposeful for both enhancing the streetscape corridor and providing consistency in design and maintenance throughout the community. Refer to the following pages detailing the streetscape design for each roadway type and condition, as it pertains to landscaping, lighting and street furniture.

### ACCESS STANDARDS AND TRAFFIC MOVEMENT

Access into individual parcels is prohibited along the community-level collector system, except at the elementary school, community recreation center, at planning areas 10, 11, 13, and 15, and where access is granted through the neighborhood collectors. Only pedestrian/bikeway access will be permitted into individual parcels to complete the connectivity of the community trails system.

Stop signs shall be installed at locations identified in the traffic study and as determined by the City of Clovis.



- EXPRESSWAY
- ARTERIAL
- COMMERCIAL COLLECTOR
- COMMUNITY LOCAL COLLECTOR
- MAIN STREET LOCAL
- LINEAR PARK LOCAL COLLECTOR
- NEIGHBORHOOD LOCAL COLLECTOR
- INTERIOR NEIGHBORHOOD LOCAL
- INTERIOR NEIGHBORHOOD ALLEY
- ROUNDABOUT
- BULBOUT\*

\*Bulbouts are also located throughout the individual neighborhoods at park/pavement crossing conditions.





# Streetscape Development Standards

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CIRCULATION PLAN

COMMUNITY DESIGN DEVELOPMENT STANDARDS

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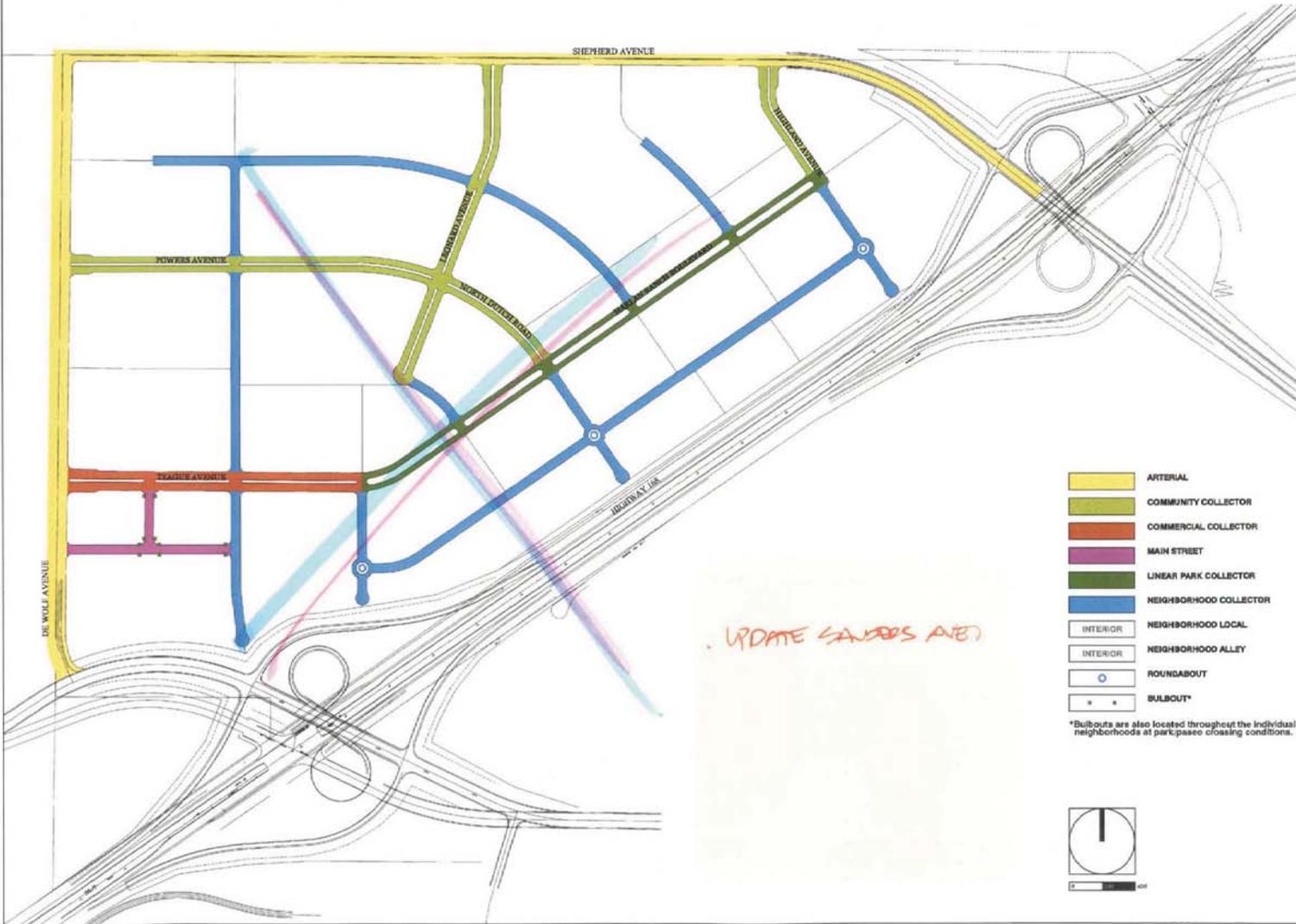
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- ARTERIAL
- COMMUNITY COLLECTOR
- COMMERCIAL COLLECTOR
- MAIN STREET
- LINEAR PARK COLLECTOR
- NEIGHBORHOOD COLLECTOR
- NEIGHBORHOOD LOCAL
- NEIGHBORHOOD ALLEY
- ROUNDABOUT
- BULBOUT\*

\*Bulbouts are also located throughout the individual neighborhoods at park/paseo crossing conditions.





# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
ARTERIAL				SHEPHERD AVENUE - 113' R.O.W.
KEY MAP				
ARTERIAL	MEDIAN 16'	PARKWAY 10'	LANDSCAPE 10'	
LANDSCAPE				
Tree Palette*	Oak Pistache	Golden Rain Tree Oak Sycamore	Golden Rain Tree Italian Cypress Oak Sycamore	
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing	Orchard, triangular-spaced 30' on center	Single row, 30' on center	Single row, 30' on center	
Other Condition(s)	2' stamped concrete border and at median island noses; layered shrubs/grasses	Turf	Layered shrubs/grasses with vines on community wall	
LIGHTING				
Light Model	Decorative Tear Drop w/mast arm [double-head]	None	None	
Placement	Center; per City of Clovis standards			
Spacing	Regular intervals; 200' max distance between lights			
STREETSCAPE FURNITURE/OTHER				
Furnishing(s)	None	None	None	
Street Sign Post	Decorative street sign post optional.			
Other	Bike lanes shall be striped. Utilities within the R.O.W. shall be screened with landscaping.			
<small>Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.</small>				<small>*Left turn lane access permitted only if necessitated by the traffic study.</small>

NOT TO SCALE



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION																
ARTERIAL				<b>DeWOLF AVENUE - R.O.W. Varies with Land Use Conditions</b>																
KEY MAP				North of Powers Avenue 112' PUBLIC R.O.W.																
ARTERIAL	<b>MEDIAN</b> 16'	<b>PARKWAY</b> 7.5'	<b>LANDSCAPE</b> 7.5'	South of Powers Avenue 104' PUBLIC R.O.W.																
LANDSCAPE	<table border="1"> <tr> <td>Tree Palette*</td> <td>           Deodar Cedar            Golden Rain Tree            Sycamore         </td> <td>           Italian Cypress            Olive            Pistache         </td> <td>           Crape Myrtle            Italian Cypress            Oak            Olive            Pistache         </td> </tr> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td colspan="3"></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Single row, 30' on center</td> <td>Single row, 30' on center</td> <td>Single row, 30' on center</td> </tr> <tr> <td>Other Condition(s)</td> <td>2' stamped concrete border and at median island noses; layered shrubs/grasses</td> <td>Turf</td> <td>Layered shrubs/grasses with vines on community wall</td> </tr> </table>			Tree Palette*	Deodar Cedar Golden Rain Tree Sycamore	Italian Cypress Olive Pistache	Crape Myrtle Italian Cypress Oak Olive Pistache	*Tree type(s) selected shall consistently be planted.				Pattern/Spacing	Single row, 30' on center	Single row, 30' on center	Single row, 30' on center	Other Condition(s)	2' stamped concrete border and at median island noses; layered shrubs/grasses	Turf	Layered shrubs/grasses with vines on community wall	
Tree Palette*	Deodar Cedar Golden Rain Tree Sycamore	Italian Cypress Olive Pistache	Crape Myrtle Italian Cypress Oak Olive Pistache																	
*Tree type(s) selected shall consistently be planted.																				
Pattern/Spacing	Single row, 30' on center	Single row, 30' on center	Single row, 30' on center																	
Other Condition(s)	2' stamped concrete border and at median island noses; layered shrubs/grasses	Turf	Layered shrubs/grasses with vines on community wall																	
LIGHTING	<table border="1"> <tr> <td>Light Model</td> <td>None</td> <td>Decorative Tear Drop w/mast arm [single-head]; standard Cobra</td> <td>None</td> </tr> <tr> <td>Placement</td> <td></td> <td>Behind curb, per City of Clovis standards</td> <td></td> </tr> <tr> <td>Spacing</td> <td></td> <td>Regular intervals; 200' max distance between lights</td> <td></td> </tr> </table>			Light Model	None	Decorative Tear Drop w/mast arm [single-head]; standard Cobra	None	Placement		Behind curb, per City of Clovis standards		Spacing		Regular intervals; 200' max distance between lights						
Light Model	None	Decorative Tear Drop w/mast arm [single-head]; standard Cobra	None																	
Placement		Behind curb, per City of Clovis standards																		
Spacing		Regular intervals; 200' max distance between lights																		
STREETSCAPE FURNITURE/OTHER	<table border="1"> <tr> <td>Furnishing(s)</td> <td>None</td> <td>None</td> <td>None</td> </tr> <tr> <td>Street Sign Post</td> <td colspan="3">Decorative street sign post optional.</td> </tr> <tr> <td>Other</td> <td colspan="3">Bike lanes shall be striped.</td> </tr> <tr> <td></td> <td colspan="3">Utilities within the R.O.W. shall be screened with landscaping.</td> </tr> </table>			Furnishing(s)	None	None	None	Street Sign Post	Decorative street sign post optional.			Other	Bike lanes shall be striped.				Utilities within the R.O.W. shall be screened with landscaping.			
Furnishing(s)	None	None	None																	
Street Sign Post	Decorative street sign post optional.																			
Other	Bike lanes shall be striped.																			
	Utilities within the R.O.W. shall be screened with landscaping.																			
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.				*Left turn lane access permitted only if necessitated by the traffic study. Transition from section North of Powers Avenue to South of Powers Avenue subject to review approval by City Engineer.																



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETScape LANDSCAPE STANDARDS			STREET SECTION																
COLLECTOR				COMMUNITY LOCAL COLLECTOR - 96' R.O.W.																
KEY MAP				Leonard Avenue Powers Avenue Highland Avenue 96' PUBLIC R.O.W.																
COLLECTOR	<b>MEDIAN</b> 12"	<b>PARKWAY</b> 10' / 10'	<b>LANDSCAPE</b> 6' / 6'																	
LANDSCAPE	<table border="1"> <tr> <td>Tree Palette*</td> <td>Crape Myrtle Oak Olive Palms Sycamore</td> <td>Oak Palms Pistache Sycamore</td> <td>Italian Cypress Oak Palms Pistache Sycamore</td> </tr> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Orchard, triangular-spaced 20'-30' on center</td> <td>Single row, 20'-30' on center</td> <td>Single row, 20'-30' on center</td> </tr> <tr> <td>Other Condition(s)</td> <td>Layered shrubs/grasses</td> <td>Turf</td> <td>Layered shrubs/grasses with vines on community wall</td> </tr> </table>			Tree Palette*	Crape Myrtle Oak Olive Palms Sycamore	Oak Palms Pistache Sycamore	Italian Cypress Oak Palms Pistache Sycamore	*Tree type(s) selected shall consistently be planted.				Pattern/Spacing	Orchard, triangular-spaced 20'-30' on center	Single row, 20'-30' on center	Single row, 20'-30' on center	Other Condition(s)	Layered shrubs/grasses	Turf	Layered shrubs/grasses with vines on community wall	North Dutch Road 96' PUBLIC R.O.W.
Tree Palette*	Crape Myrtle Oak Olive Palms Sycamore	Oak Palms Pistache Sycamore	Italian Cypress Oak Palms Pistache Sycamore																	
*Tree type(s) selected shall consistently be planted.																				
Pattern/Spacing	Orchard, triangular-spaced 20'-30' on center	Single row, 20'-30' on center	Single row, 20'-30' on center																	
Other Condition(s)	Layered shrubs/grasses	Turf	Layered shrubs/grasses with vines on community wall																	
LIGHTING	<table border="1"> <tr> <td>Light Model</td> <td>Decorative Tear Drop w/mast arm [double-head]</td> <td>None</td> <td>None</td> </tr> <tr> <td>Placement</td> <td>Center</td> <td></td> <td></td> </tr> <tr> <td>Spacing</td> <td>Regular intervals; 85' max distance from intersection; 200' max distance between lights</td> <td></td> <td></td> </tr> </table>			Light Model	Decorative Tear Drop w/mast arm [double-head]	None	None	Placement	Center			Spacing	Regular intervals; 85' max distance from intersection; 200' max distance between lights							
Light Model	Decorative Tear Drop w/mast arm [double-head]	None	None																	
Placement	Center																			
Spacing	Regular intervals; 85' max distance from intersection; 200' max distance between lights																			
STREETScape FURNITURE OTHER	<table border="1"> <tr> <td>Furnishing(s)</td> <td>None</td> <td>None</td> <td>None</td> </tr> <tr> <td>Street Sign Post</td> <td colspan="3">Decorative street sign post optional.</td> </tr> <tr> <td>Other</td> <td colspan="3">           Bike lanes shall not be striped.            Utilities within the R.O.W. shall be screened with landscaping.         </td> </tr> </table>			Furnishing(s)	None	None	None	Street Sign Post	Decorative street sign post optional.			Other	Bike lanes shall not be striped. Utilities within the R.O.W. shall be screened with landscaping.							
Furnishing(s)	None	None	None																	
Street Sign Post	Decorative street sign post optional.																			
Other	Bike lanes shall not be striped. Utilities within the R.O.W. shall be screened with landscaping.																			
	<small>*10' median condition through North Dutch Road. Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.</small>																			



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
COLLECTOR				COMMUNITY COLLECTOR - 96' R.O.W.
KEY MAP				Leonard Avenue Powers Avenue Highland Avenue 96' PUBLIC R.O.W.
COLLECTOR	MEDIAN 12'	PARKWAY 10'/10'	LANDSCAPE 6'/6'	
LANDSCAPE				North Dutch Road 96' PUBLIC R.O.W.
Tree Palette*	Crape Myrtle Oak Olive Palms Sycamore	Oak Palms Pistache Sycamore	Italian Cypress Oak Palms Pistache Sycamore	
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing	Orchard, triangular-spaced 20'-30' on center	Single row, 20'-30' on center	Single row, 20'-30' on center	
Other Condition(s)	Layered shrubs/grasses	Turf	Layered shrubs/grasses with vines on community wall	
LIGHTING				
Light Model	Decorative Tear Drop w/mast arm [double-head]	None	None	
Placement	Center			
Spacing	Regular intervals; 85' max distance from intersection; 200' max distance between lights			
STREETSCAPE FURNITURE/OTHER				
Furnishing(s)	None	None	None	
Street Sign Post	Decorative street sign post optional.			
Other	Bike lanes shall not be striped. Utilities within the R.O.W. shall be screened with landscaping.			

Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.

NOT TO SCALE





# Streetscape Development Standards

STREET SECTIONS

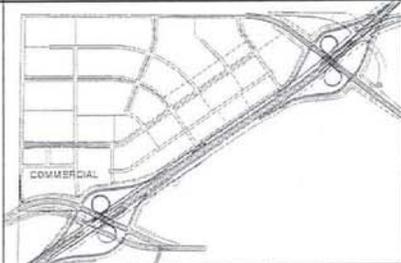
DETAIL

STREET TYPE      STREETScape LANDSCAPE STANDARDS      STREET SECTION

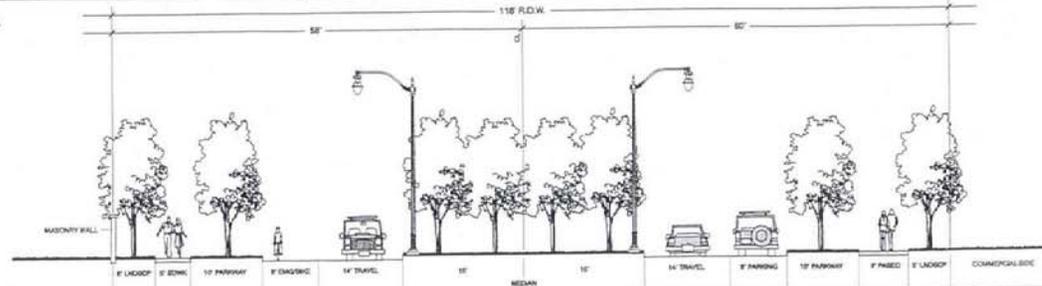
COLLECTOR

COMMERCIAL COLLECTOR - 118' R.O.W.

KEY MAP



Teague Avenue  
118' PUBLIC R.O.W.



COLLECTOR	MEDIAN	PARKWAY	LANDSCAPE
	30'	10'/10'	6'/5'

**LANDSCAPE**

Tree Palette*	Crape Myrtle Laurel Olive Palms Sycamore	Deodar Cedar Oak Olive Sycamore	Crape Myrtle Italian Cypress Laurel Olive Pistache
*Tree type(s) selected shall consistently be planted.			
Pattern/Spacing	Orchard, triangular-spaced 20'-20' on center	Single row, 30' on center	Single row, 20'-30' on center
Other Condition(s)	Layered shrubs/grasses	Turf	Layered shrubs/grasses with vines on community walls

**LIGHTING**

Light Model	Decorative Tear Drop w/mast arm [single-head]	None	None
Placement	Behind curb		
Spacing	Regular intervals; 85' max distance from intersection; 200' max distance between lights		

**STREETScape FURNITURE/OTHER**

Furnishing(s)	None	None	None
Street Sign Post	Decorative street sign post optional.		
Other	Bike lanes shall not be striped. Utilities within the R.O.W. shall be screened with landscaping.		

Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.





# Streetscape Development Standards

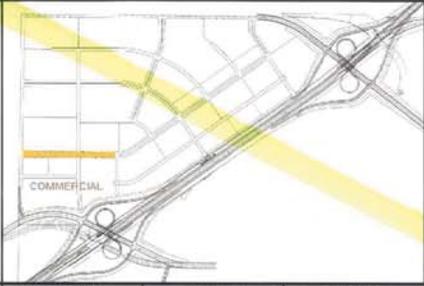
STREET SECTIONS

DETAIL STREET TYPE STREETScape LANDSCAPE STANDARDS STREET SECTION

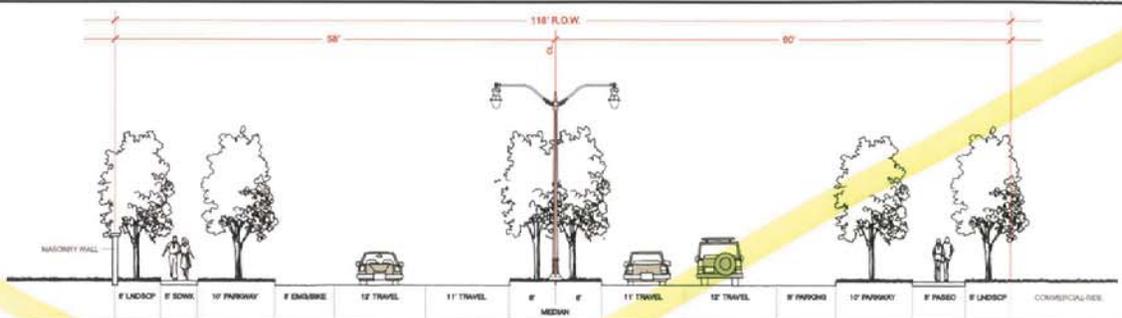
COLLECTOR

COMMERCIAL COLLECTOR - 118' R.O.W.

KEY MAP



Teague Avenue  
118' PUBLIC R.O.W.



COLLECTOR	MEDIAN	PARKWAY	LANDSCAPE
	12'	10'/10'	6'/5'

LANDSCAPE	MEDIAN	PARKWAY	LANDSCAPE
Tree Palette*	Crape Myrtle Laurel Olive Palms Sycamore	Deodar Cedar Olive Sycamore	Crape Myrtle Italian Cypress Laurel Olive Pistache
*Tree type(s) selected shall consistently be planted.			
Pattern/Spacing	Orchard, triangular-spaced 20'-30' on center	Single row, 30' on center	Single row, 20'-30' on center
Other Condition(s)	Layered shrubs/grasses	Turf	Layered shrubs/grasses with vines on community walls

LIGHTING	MEDIAN	PARKWAY	LANDSCAPE
Light Model	Decorative Tear Drop w/mast arm [double-head]	None	None
Placement	Center		
Spacing	Regular intervals; 85' max distance from intersection; 200' max distance between lights		

STREETSCAPE FURNITURE/OTHER	MEDIAN	PARKWAY	LANDSCAPE
Furnishing(s)	None	None	None
Street Sign Post	Decorative street sign post optional.		
Other	Bike lanes shall not be striped. Utilities within the R.O.W. shall be screened with landscaping.		

Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.

NOT TO SCALE



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
COLLECTOR				"MAIN STREET" - 72' R.O.W.
KEY MAP				
COLLECTOR	MEDIAN	PARKWAY	LANDSCAPE	
	None	6' with TG; 6' with TG	None	
LANDSCAPE				
Tree Palette*		Golden Rain Tree Laurel Pistache Sycamore		
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing		Single row, 20'-25' on center		
Other Condition(s)		Tree grates in sidewalk behind curb		
LIGHTING				
Light Model		Decorative Short Acorn upright [single-head]		
Placement		Behind curb; per City of Clovis standards		
Spacing		Regular shorter intervals; 250' max distance between lights		
STREETSCAPE FURNITURE/OTHER				
Furnishing(s)		Benches, temporary art/signage, trash receptacles, public art, kiosk; tree grates 5'x5' in sidewalk		
Street Sign Post	Decorative street sign post optional.			
Design Tool(s)	Bulbouts (curb extensions) are located at intersections throughout the "Main Street" area to provide for the safe pedestrian crossing and traffic-calming in this commercial area.			
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.				NOT TO SCALE

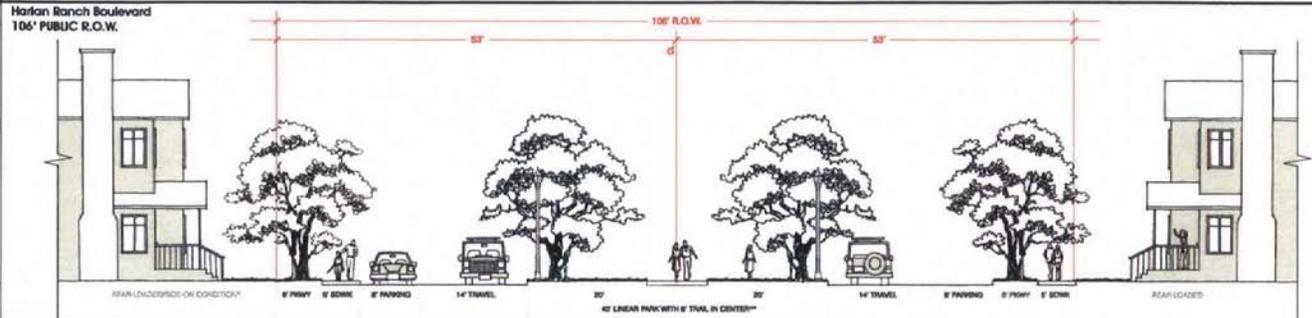


# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS		STREET SECTION																
COLLECTOR																			
KEY MAP																			
COLLECTOR	MEDIAN 40' [Linear Park]	PARKWAY 6'6"	LANDSCAPE None																
LANDSCAPE	<table border="1"> <tr> <td>Tree Palette*</td> <td>Crape Myrtle Italian Cypress Oak Olive Palms Sycamore</td> <td>Laurel Oak Pistache Sycamore</td> <td></td> </tr> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Single row, 20'-30' on center; trees located behind curb on both sides</td> <td>Single row, 20'-30' on center</td> <td></td> </tr> <tr> <td>Other Condition(s)</td> <td>Turf accent layered shrubs/grasses</td> <td>Turf</td> <td></td> </tr> </table>			Tree Palette*	Crape Myrtle Italian Cypress Oak Olive Palms Sycamore	Laurel Oak Pistache Sycamore		*Tree type(s) selected shall consistently be planted.				Pattern/Spacing	Single row, 20'-30' on center; trees located behind curb on both sides	Single row, 20'-30' on center		Other Condition(s)	Turf accent layered shrubs/grasses	Turf	
Tree Palette*	Crape Myrtle Italian Cypress Oak Olive Palms Sycamore	Laurel Oak Pistache Sycamore																	
*Tree type(s) selected shall consistently be planted.																			
Pattern/Spacing	Single row, 20'-30' on center; trees located behind curb on both sides	Single row, 20'-30' on center																	
Other Condition(s)	Turf accent layered shrubs/grasses	Turf																	
LIGHTING	<table border="1"> <tr> <td>Light Model</td> <td>Decorative Short Acorn upright [single-head]</td> <td>None</td> <td></td> </tr> <tr> <td>Placement</td> <td>Behind curb; per City of Clovis standards</td> <td></td> <td></td> </tr> <tr> <td>Spacing</td> <td>Regular, shorter intervals; 250' max distance between lights</td> <td></td> <td></td> </tr> </table>			Light Model	Decorative Short Acorn upright [single-head]	None		Placement	Behind curb; per City of Clovis standards			Spacing	Regular, shorter intervals; 250' max distance between lights						
Light Model	Decorative Short Acorn upright [single-head]	None																	
Placement	Behind curb; per City of Clovis standards																		
Spacing	Regular, shorter intervals; 250' max distance between lights																		
STREETSCAPE FURNITURE/OTHER	<table border="1"> <tr> <td>Furnishing(s)</td> <td>Drinking fountains, benches, public art, trash receptacles, ornamental fountains</td> <td>None</td> <td></td> </tr> <tr> <td>Street Sign Post</td> <td colspan="3">Decorative street sign post optional.</td> </tr> <tr> <td>Other</td> <td colspan="3">Utilities within the R.O.W. shall be screened with landscaping.</td> </tr> </table>			Furnishing(s)	Drinking fountains, benches, public art, trash receptacles, ornamental fountains	None		Street Sign Post	Decorative street sign post optional.			Other	Utilities within the R.O.W. shall be screened with landscaping.						
Furnishing(s)	Drinking fountains, benches, public art, trash receptacles, ornamental fountains	None																	
Street Sign Post	Decorative street sign post optional.																		
Other	Utilities within the R.O.W. shall be screened with landscaping.																		
	Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.																		

**LINEAR PARK COLLECTOR - 106' R.O.W.**



\*Land use conditions along this right-of-way will be rear-loaded, with the exception of a side-on condition across from the community recreation center.  
\*\*8' wide trail may vary in configuration based on Linear Park amenities.



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
<b>COLLECTOR</b>				<b>LINEAR PARK COLLECTOR - 106' R.O.W.</b>
<b>KEY MAP</b>				
<b>COLLECTOR</b>	<b>MEDIAN</b> 40' [Linear Park]	<b>PARKWAY</b> 6' / 6'	<b>LANDSCAPE</b> None	
<b>LANDSCAPE</b>				
Tree Palette*	Crape Myrtle Italian Cypress Oak Olive Palms Sycamore	Laurel Oak Pistache Sycamore		
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing	Single row, 20'-30' on center; trees located behind curb on both sides	Single row, 20'-30' on center		
Other Condition(s)	Turf accent layered shrubs/grasses	Turf		
<b>LIGHTING</b>				
Light Model	Decorative Short Acorn upright [single-head]	None		
Placement	Behind curb, per City of Clovis standards			
Spacing	Regular, shorter intervals; 250' max distance between lights			
<b>STREETSCAPE FURNITURE/OTHER</b>				
Furnishing(s)	Drinking fountains, benches, public art, trash receptacles, ornamental fountains	None		
Street Sign Post	Decorative street sign post optional.			
Other	Utilities within the R.O.W. shall be screened with landscaping.			
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.				*Land use conditions along this right-of-way will be rear-loaded, with the exception of a side-on condition across from the community recreation center. **8' wide trail may vary in configuration based on Linear Park amenities.



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
<b>COLLECTOR</b>				<b>NEIGHBORHOOD LOCAL COLLECTOR - 62' R.O.W.</b>
<b>KEY MAP</b>				<b>Front-Loaded Collectors</b> <b>62' PUBLIC R.O.W.</b>
<b>COLLECTOR</b>	<b>MEDIAN</b> None	<b>PARKWAY</b> 6/6'	<b>LANDSCAPE</b> None	<b>Rear-Loaded Collectors</b> <b>62' PUBLIC R.O.W.</b>
<b>LANDSCAPE</b>	<b>Tree Palette*</b> Golden Rain Tree Oak Pistache Sycamore			<b>Sanders Avenue</b> <b>62' PUBLIC R.O.W.</b>
*Tree type(s) selected shall consistently be planted.				
<b>Pattern/Spacing</b>	Single row, one tree per house			
<b>Other Condition(s)</b>	Turf			
<b>LIGHTING</b>	Light Model: Decorative Short Acorn upright (single-head) Placement: Behind curb; per City of Clovis standards Spacing: Regular intervals: 250' max distance between lights			
<b>STREETSCAPE FURNITURE/OTHER</b>				
<b>Furnishing(s)</b>	None			
<b>Street Sign Post</b>	Decorative street sign post optional.			
<b>Design Tool(s)</b>	Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.			
<b>Other</b>	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along streets where driveways exist.			
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.				

EXHIBIT "B"



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
<b>COLLECTOR</b>				<b>NEIGHBORHOOD COLLECTOR - 62' R.O.W.</b>
<b>KEY MAP</b>				<b>Front-Loaded Collectors 62' PUBLIC R.O.W.</b>
<b>COLLECTOR</b>	<b>MEDIAN</b>	<b>PARKWAY</b>	<b>LANDSCAPE</b>	<b>Rear-Loaded Collectors 62' PUBLIC R.O.W.*</b>
	None	6'/6'	None	
<b>LANDSCAPE</b>				
Tree Palette*		Golden Rain Tree Oak Pistache Sycamore		
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing		Single row, one tree per home		
Other Condition(s)		Turf		
<b>LIGHTING</b>				
Light Model		Decorative Short Acorn upright [single-head]		
Placement		Behind curb; per City of Clovis standards		
Spacing		Regular intervals; 250' max distance between lights		
<b>STREETSCAPE FURNITURE/OTHER</b>				
Furnishing(s)		None		
Street Sign Post		Decorative street sign post optional.		
Design Tool(s)		Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.		
Other		Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along streets where driveways exist.		
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.				*Land use conditions along right-of-ways vary; adjacent to Live/Work land use, provide a 6' wide sidewalk.



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
COLLECTOR				NEIGHBORHOOD COLLECTOR - 62' R.O.W.
KEY MAP				<b>Front-Loaded Collectors</b> 62' PUBLIC R.O.W.
COLLECTOR	MEDIAN None	PARKWAY 6'6"	LANDSCAPE None	<b>Rear-Loaded Collectors</b> 62' PUBLIC R.O.W.*
LANDSCAPE				
Tree Palette*		Golden Rain Tree Oak Pistache Sycamore		
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing		Single row, one tree per home		
Other Condition(s)		Turf		
LIGHTING				
Light Model		Decorative Short Acorn upright [single-head]		
Placement		Behind curb; per City of Clovis standards		
Spacing		Regular intervals; 250' max distance between lights		
STREETSCAPE FURNITURE/OTHER				
Furnishing(s)		None		
Street Sign Post	Decorative street sign post optional.			
Design Tool(s)	Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.			
Other	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along streets where driveways exist.			
	Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.			*Land use conditions along right-of-ways vary; adjacent to Live/Work land use, provide a 5' wide sidewalk.

NOT TO SCALE



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
<b>COLLECTOR</b>				<b>NEIGHBORHOOD COLLECTOR - 62' R.O.W.</b>
<b>KEY MAP</b>				<b>Front-Loaded Collectors 62' PUBLIC R.O.W.</b>
<b>COLLECTOR</b>	<b>MEDIAN</b> None	<b>PARIKWAY</b> 6'/6'	<b>LANDSCAPE</b> None	
<b>LANDSCAPE</b>				<b>Rear-Loaded Collectors 62' PUBLIC R.O.W.*</b>
Tree Palette*		Golden Rain Tree Oak Pistache Sycamore		
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing		Single row, one tree per home		
Other Condition(s)		Turf		
<b>LIGHTING</b>				<b>Rear-Loaded Collectors 62' PUBLIC R.O.W.*</b>
Light Model		Decorative Short Acorn upright [single-head]		
Placement		Behind curb; per City of Clevis standards		
Spacing		Regular intervals; 250' max distance between lights		
<b>STREETSCAPE FURNITURE/OTHER</b>				
Furnishing(s)		None		
Street Sign Post		Decorative street sign post optional.		
Design Tool(s)		Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.		
Other		Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along streets where driveways exist.		
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.				*Land use conditions along right-of-ways vary; adjacent to Live/Work land use, provide a 6' wide sidewalk.



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
COLLECTOR				<b>NEIGHBORHOOD COLLECTOR</b> along Gated Neighborhood - R.O.W. Varies with Land Use Conditions
KEY MAP				Collectors along Gated Neighborhood <b>74' PUBLIC R.O.W.</b>
COLLECTOR	MEDIAN None	PARKWAY 5'-6'	LANDSCAPE Varies	
LANDSCAPE				<b>Front-Loaded Collectors</b> along Gated Neighborhood <b>68' PUBLIC R.O.W.*</b>
Tree Palette*		Crape Myrtle Oak Pistache Sycamore	Crape Myrtle Oak Pistache Sycamore	
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing		Single row, 20'-30' on center except where home is front-loaded, then one tree per home	Single row, 20'-30' on center	
Other Condition(s)		Turf	Layered shrubs/grasses	
LIGHTING				
Light Model		Decorative Short Acorn upright [single-head]	None	
Placement		Behind curb; per City of Clovis standards		
Spacing		Regular intervals; 250' max distance between lights		
STREETSCAPE FURNITURE/OTHER				
Furnishing(s)		None	None	
Street Sign Post	Decorative street sign post optional.			
Other	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along streets where driveways exist.			
	Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.			*62' R.O.W. with a 5' landscape easement outside of right-of-way along Planning Area 10 gated neighborhood condition.



# Streetscape Development Standards

STREET SECTIONS

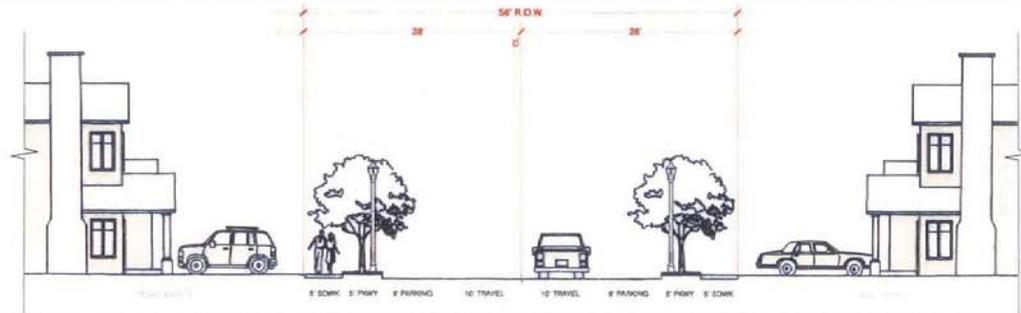
DETAIL STREET TYPE STREETScape LANDSCAPE STANDARDS STREET SECTION

**LOCAL**

**NEIGHBORHOOD LOCAL - 56' R.O.W.**



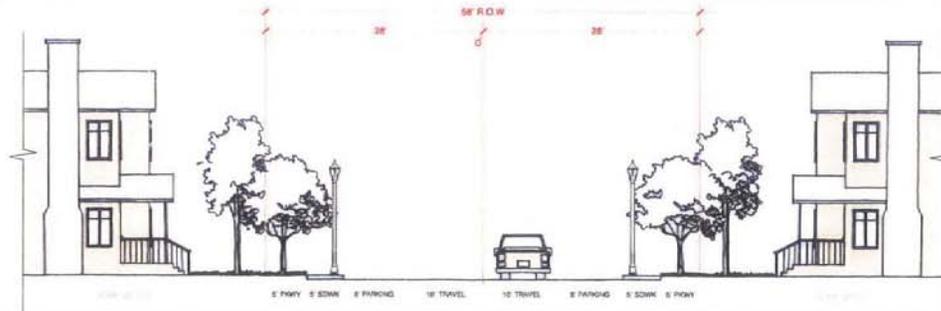
Front-Loaded Locals  
56' PUBLIC R.O.W.



LOCAL	MEDIAN	PARKWAY	PROPERTY
	None	5' / 5'	--

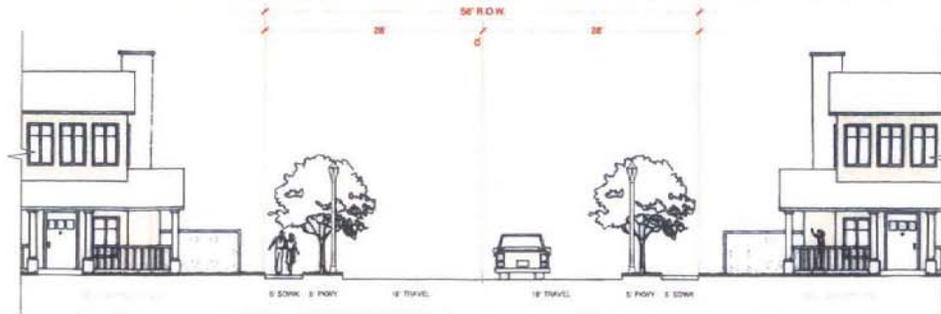
LANDSCAPE			
Tree Palette*		Species are street specific per individual neighborhoods	
*Tree type(s) selected shall consistently be planted.			
Pattern/Spacing		Single row, one tree per home	
Other Condition(s)		Turf	

Rear-Loaded Locals  
56' PUBLIC R.O.W.



LIGHTING			
Light Model		Decorative Short Acorn upright [single-head]	
Placement		Behind curb; per City of Clovis standards	
Spacing		Regular intervals; 250' max distance between lights	

Side-On Locals  
56' PUBLIC R.O.W.



STREETScape FURNITURE/OTHER			
Furnishing(s)		None	
Street Sign Post		Decorative street sign post optional.	
Design Tool(s)		Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.	
Other		Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.	

Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.





# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETScape LANDSCAPE STANDARDS			STREET SECTION
<b>LOCAL</b>				<b>NEIGHBORHOOD LOCAL - 56' R.O.W.</b>
<b>KEY MAP</b>	<p>TENTATIVE TRACT MAP SHALL FURTHER DELINEATE LOCATION OF THE LOCAL STREETS WITHIN THE DESIGNATED PLANNING AREAS.</p>			<b>Front-Loaded Locals</b> <b>56' PUBLIC R.O.W.</b>
<b>LOCAL</b>	<b>MEDIAN</b>	<b>PARKWAY</b>	<b>PROPERTY</b>	
	None	5'5"	--	
<b>LANDSCAPE</b>				<b>Rear-Loaded Locals</b> <b>56' PUBLIC R.O.W.</b>
Tree Palette*	Species are street specific per individual neighborhoods			
*Tree type(s) selected shall consistently be planted.	Single row, one tree per home			
Pattern/Spacing	Turf			
Other Condition(s)				
<b>LIGHTING</b>				<b>Side-On Locals</b> <b>56' PUBLIC R.O.W.</b>
Light Model	Decorative Short Acorn upright [single-head]			
Placement	Behind curb, per City of Clovis standards			
Spacing	Regular intervals; 250' max distance between lights			
<b>STREETScape FURNITURE/OTHER</b>				
Furnishing(s)	None			
Street Sign Post	Decorative street sign post optional.			
Design Tool(s)	Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.			
Other	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.			
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.				

NOT TO SCALE



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
LOCAL				NEIGHBORHOOD LOCAL - 56' R.O.W.
KEY MAP	<p>TENTATIVE TRACT MAP SHALL FURTHER DELINEATE LOCATION OF THE LOCAL STREETS WITHIN THE DESIGNATED PLANNING AREAS.</p>			<p>Front-Loaded Locals 56' PUBLIC R.O.W.</p>
LOCAL	MEDIAN	PARKWAY	PROPERTY	<p>Rear-Loaded Locals 56' PUBLIC R.O.W.</p>
LANDSCAPE				
Tree Palette*		Species are street specific per individual neighborhoods		
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing		Single row, one tree per home		
Other Condition(s)		Turf		
LIGHTING				
Light Model		Decorative Short Acorn upright [single-head]		
Placement		Behind curb; per City of Clovis standards		
Spacing		Regular intervals; 250' max distance between lights		
STREETSCAPE FURNITURE/OTHER				
Furnishing(s)		None		
Street Sign Post	Decorative street sign post optional.			
Design Tool(s)	Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.			
Other	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.			
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.				

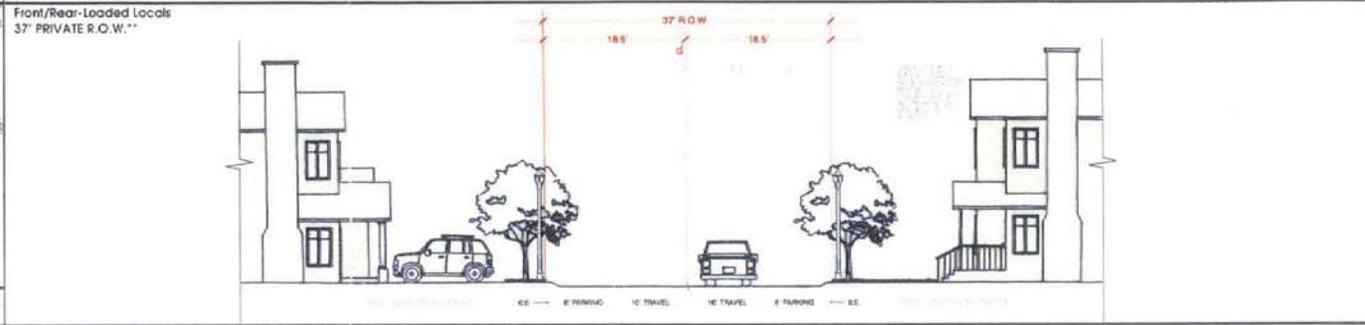
NOT TO SCALE



# Streetscape Development Standards

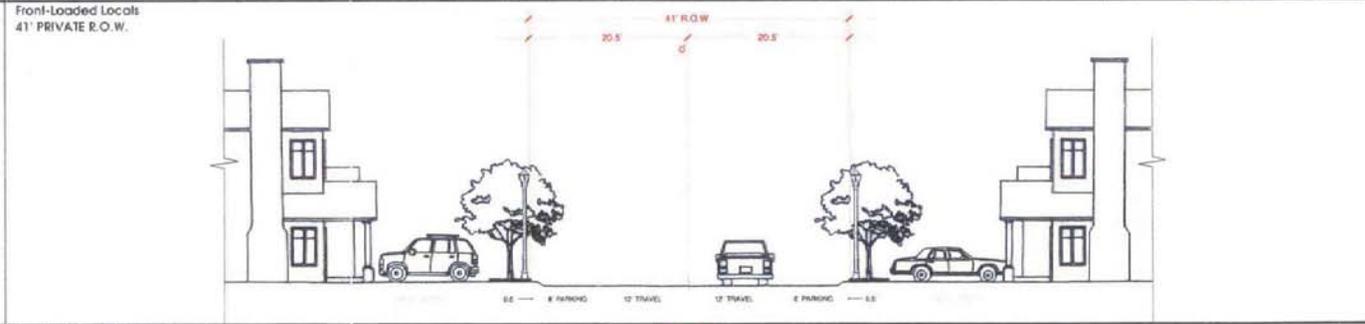
STREET SECTIONS

DETAIL	STREET TYPE	STREETSCAPE LANDSCAPE STANDARDS	STREET SECTION
	LOCAL		NEIGHBORHOOD LOCAL - R.O.W. Varies with Land Use Conditions

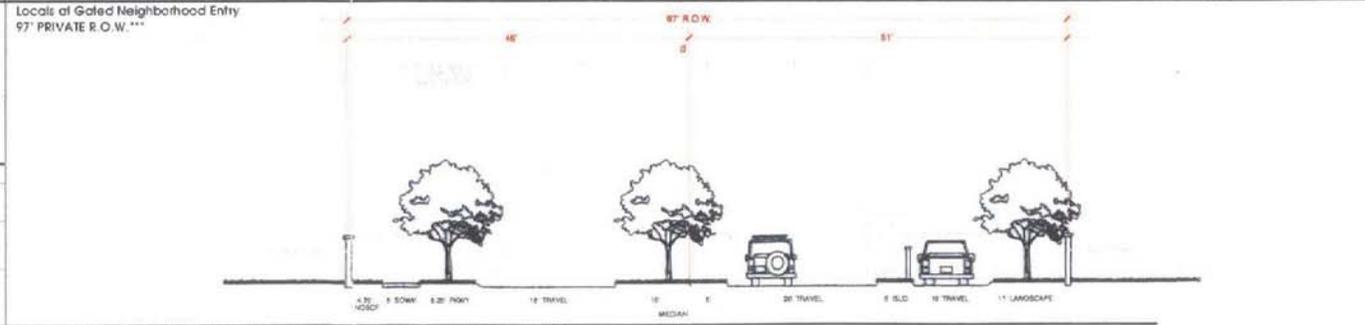


LOCAL	MEDIAN	CURB	PROPERTY
	None	0.5'/0.5'	--

LANDSCAPE	MEDIAN	CURB	PROPERTY
Tree Palette*		None	Species are street specific per individual neighborhoods
*Tree type(s) selected shall consistently be planted.			
Pattern/Spacing			Single row, one tree per home
Other Condition(s)			



LIGHTING	MEDIAN	CURB	PROPERTY
Light Model		None	Decorative Short Acorn upright (single-head)
Placement			Behind curb; per City of Clovis standards
Spacing			Regular intervals; 250' max distance between lights



STREETSCAPE FURNITURE/OTHER	MEDIAN	CURB	PROPERTY
Furnishing(s)		None	None
Street Sign Post		Decorative street sign post optional.	
Design Tool(s)		Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.	
Other		Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.	

\*Land use conditions along these right-of-ways will be front-to-front loaded or rear-to-rear loaded combinations.  
 \*\*Within Garder Court and Garder Lot neighborhoods, 16.5' right-of-way from CL to back-of-cut; may be reduced to 12.5' wide travel lane with only parking on 1st side of the street.  
 \*\*\*Gated neighborhood entry narrows down from 97' R.O.W. down to 41' curb-to-curb.

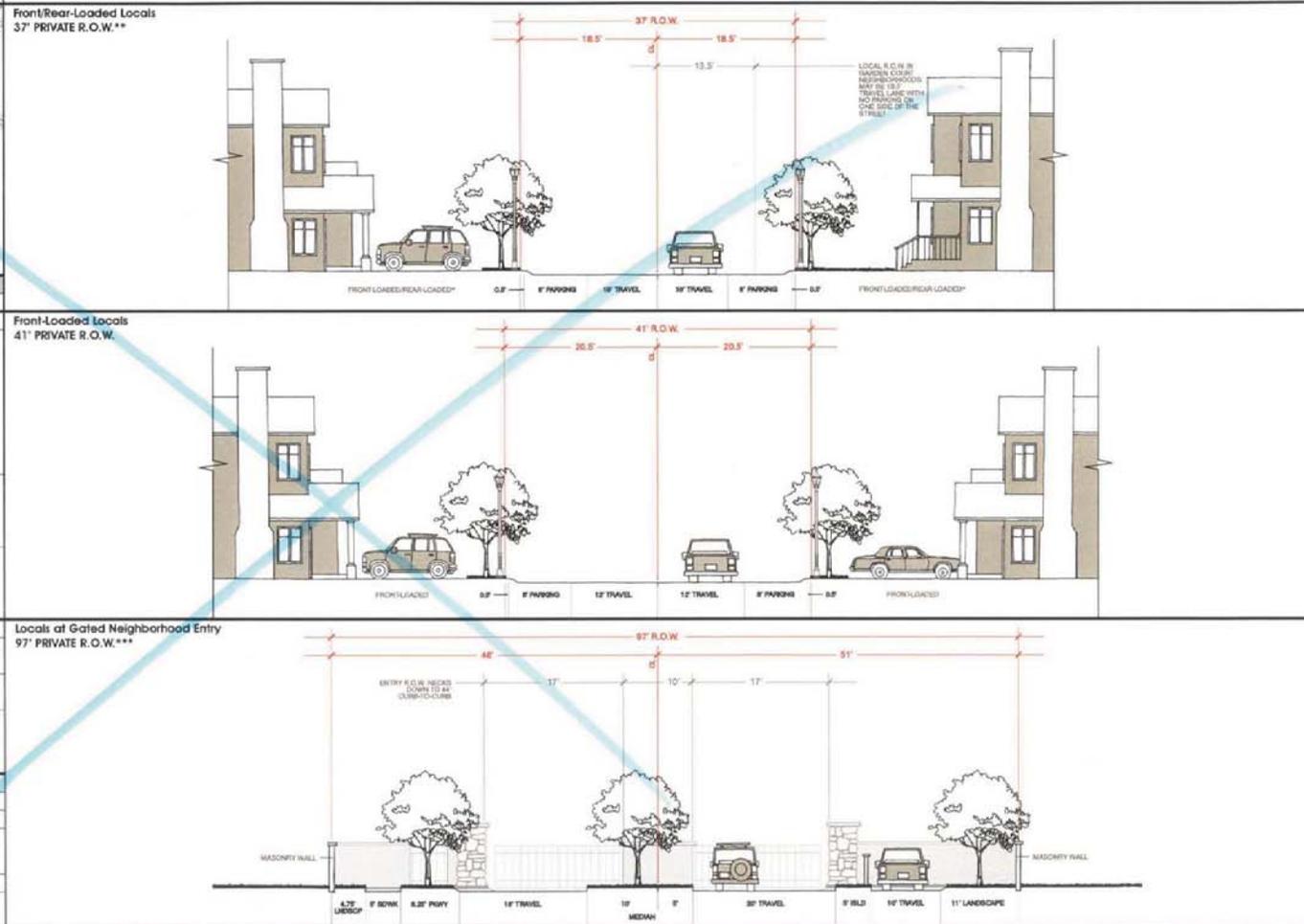
EXHIBIT "B-2"



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREET TYPE	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
	LOCAL				NEIGHBORHOOD LOCAL - R.O.W. Varies with Land Use Conditions
KEY MAP		<p>GATED NEIGHBORHOOD TENTATIVE TRACT MAP SHALL FURTHER DELINEATE LOCATION OF THE LOCAL STREETS WITHIN THE DESIGNATED PLANNING AREAS.</p>			
LOCAL		MEDIAN None	CURB 0.5'/0.5'	PROPERTY --	
LANDSCAPE					
Tree Palette*		None		Species are street specific per individual neighborhoods	
*Tree type(s) selected shall consistently be planted.					
Pattern/Spacing				Single row, one tree per home	
Other Condition(s)					
LIGHTING					
Light Model		None		Decorative Short Acorn upright [single-head]	
Placement				Behind curb; per City of Clovis standards	
Spacing				Regular intervals; 250' max distance between lights	
STREETSCAPE FURNITURE/OTHER					
Furnishing(s)		None		None	
Street Sign Post		Decorative street sign post optional.			
Design Tool(s)		Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.			
Other		Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.			



\*Land use conditions along these right-of-ways will be front-to-front loaded or rear-to-rear loaded combinations.  
 \*\*Within garden court neighborhoods, 18.5' right-of-way from CL to back-of-curb may be 13.5' wide travel lane with no parking on one side of the street.  
 \*\*\*Gated neighborhood entry necks down from 97' R.O.W. down to 44' curb-to-curb.



# Streetscape Development Standards

STREET SECTIONS

DETAIL STREET TYPE STREETScape LANDSCAPE STANDARDS STREET SECTION

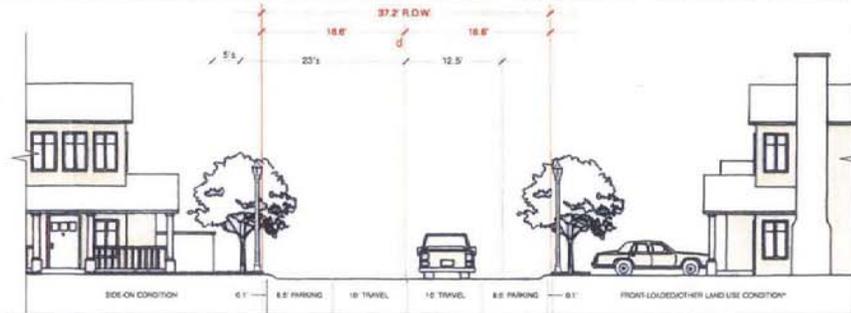
LOCAL

NEIGHBORHOOD LOCAL - R.O.W. Varies with Land Use Conditions

KEY MAP



Front-Loaded Locals/Open Space  
37.2' PRIVATE R.O.W.\*\*\*

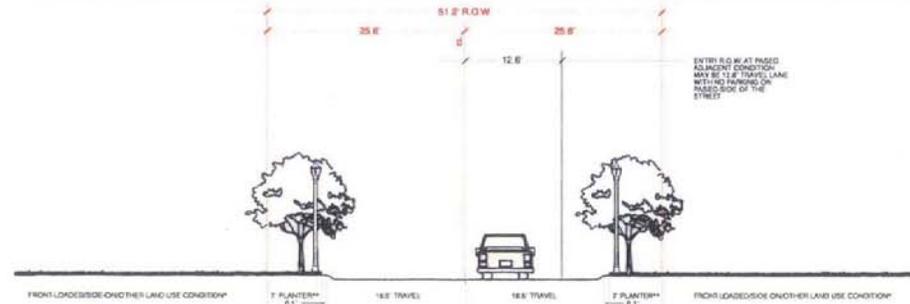


LOCAL	MEDIAN None	CURB 0.1'/0.1'	PLANTER/PROPERTY Varies
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LANDSCAPE

Tree Palette*		None	Species are street specific per individual neighborhoods
*Tree type(s) selected shall consistently be planted.			
Pattern/Spacing			Single row, one tree per home, 30' on center where planter is provided
Other Condition(s)			Layered shrubs/grasses where planter is provided

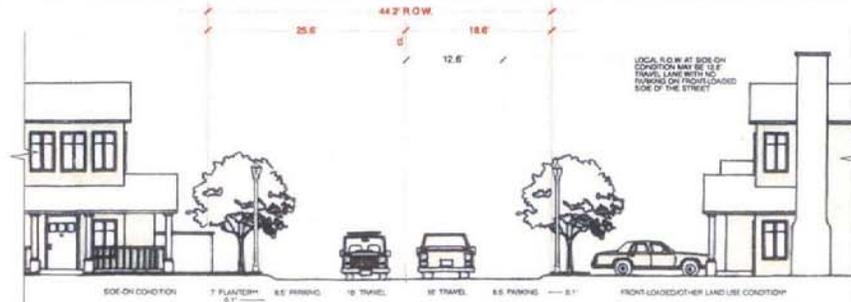
Locals of Neighborhood Entry  
51.2' PRIVATE R.O.W.\*\*\*



LIGHTING

Light Model		None	Decorative Short Acorn upright [single-head]
Placement			Behind curbs per City of Clovis standards
Spacing			Regular intervals; 250' max distance between lights

Locals of Side-On Condition  
44.2' PRIVATE R.O.W.\*\*\*



STREETScape FURNITURE/OTHER

Furnishing(s)		None	None
Street Sign Post	Decorative street sign post optional.		
Design Tool(s)	Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.		
Other	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.		

Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.

\*Land use conditions along right-of-ways vary.

\*\*Planter width may vary; 4' wide minimum.

\*\*\*At these conditions, 18.6' right-of-way from CI to back-of-cut; may be 12.6' wide travel lane with no parking on pass-side or front-loaded side of the street.

\*\*\*\*Within SPD-3060 and Green Lot neighborhoods, 18.6' right-of-way from CI to back-of-cut; may be reduced to 12.5' wide travel lane along open space areas and with only parking on lot side of the street.

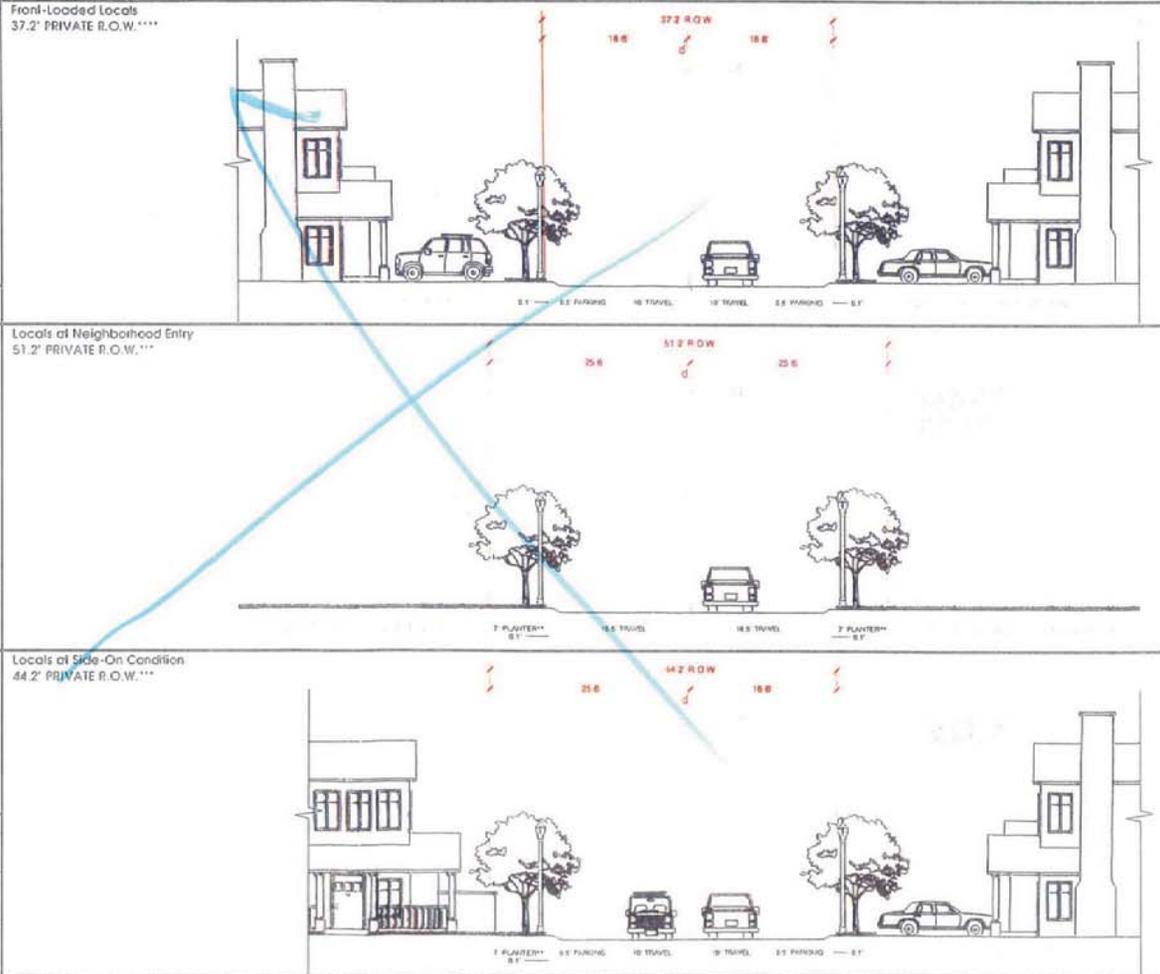




# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREET TYPE	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
LOCAL					<p><b>NEIGHBORHOOD LOCAL - R.O.W. Varies with Land Use Conditions</b></p>
KEY MAP					
LOCAL		MEDIAN None	CURB 0.1'/0.1'	PLANTER/PROPERTY Varies	
LANDSCAPE	Tree Palette*		None	Species are street specific per individual neighborhoods	<p>Locals of Neighborhood Entry 51.2' PRIVATE R.O.W.**</p>
	*Tree type(s) selected shall consistently be planted.			Single row, one tree per home; 30' on center where planter is provided	
	Pattern/Spacing			Layered shrubs/grasses where planter is provided	
	Other Condition(s)				
LIGHTING	Light Model		None	Decorative Short Acorn upright (single-head)	<p>Locals of Side-On Condition 44.2' PRIVATE R.O.W.***</p>
	Placement			Behind curb; per City of Clovis standards	
	Spacing			Regular intervals; 250' max distance between lights	
STREETSCAPE FURNITURE/OTHER	Furnishing(s)		None	None	<p>Locals of Side-On Condition 44.2' PRIVATE R.O.W.***</p>
	Street Sign Post			Decorative street sign post optional.	
	Design Tool(s)			Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.	
	Other			Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.	



\*Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.

\*\*Land use conditions along right-of-ways vary.  
 \*\*\*Planter width may vary, 4' wide minimum.  
 \*\*\*\*At these conditions, 16.6' right-of-way from CL to back-of-curb may be 12.6' wide travel lane with no parking on paseo-side or front-loaded side of the street.  
 \*\*\*\*\*Within SFD-3860 and Green Lot neighborhoods, 16.6' right-of-way from CL to back-of-curb may be reduced to 12.5' wide travel lane with only parking on left side of the street.





# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
LOCAL				<b>NEIGHBORHOOD LOCAL - R.O.W. Varies with Land Use Conditions</b>
KEY MAP	<p>TENTATIVE TRACT MAP SHALL FURTHER DELINEATE LOCATION OF THE LOCAL STREETS WITHIN THE DESIGNATED PLANNING AREAS.</p>			<p><b>Front-Loaded Locals</b> 37.2' PRIVATE R.O.W.</p>
LOCAL	MEDIAN None	CURB 0.1' D, 0.1'	PLANTER/PROPERTY Varies	
LANDSCAPE				
Tree Palette*	None			Species are street specific per individual neighborhoods
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing				Single row, one tree per home; 30' on center where planter is provided
Other Condition(s)				Layered shrubs/grasses where planter is provided
LIGHTING				
Light Model	None			Decorative Short Acorn upright [single-head]
Placement				Behind curb; per City of Clovis standards
Spacing				Regular intervals; 250' max distance between lights
STREETSCAPE FURNITURE/OTHER				
Furnishing(s)	None			None
Street Sign Post	Decorative street sign post optional.			
Design Tool(s)	Bulbouts (curb extensions) are located at various neighborhood park site locations to provide for the safe pedestrian crossing and traffic-calming in these areas.			
Other	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.			
	<p>Locals of Neighborhood Entry 51.2' PRIVATE R.O.W.***</p>			
	<p>Locals of Side-On Condition 44.2' PRIVATE R.O.W.***</p>			
	<p>Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.</p>			<p>*Land use conditions along right-of-ways vary. **Planter width may vary, 4' wide minimum. ***At these conditions, 18.6' right-of-way from CL to back-of-curb may be 12.6' wide travel lane with no parking on paseo-side or front-loaded side of the street.</p>



# Streetscape Development Standards

STREET SECTIONS

DETAIL

STREET TYPE	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
<b>ALLEY</b>				<b>NEIGHBORHOOD ALLEY - R.O.W. Varies with Land Use Conditions</b>
<b>KEY MAP</b>				
<b>ALLEY</b>	<b>MEDIAN</b> None	<b>CURB</b> 0.5'/0.5'	<b>PLANTER/PROPERTY</b> Varies	
<b>LANDSCAPE</b>				<b>Garage Courts</b> 24' PRIVATE R.O.W.**
Tree Palette*		None	Species are street specific per individual neighborhoods	
*Tree type(s) selected shall consistently be planted.				
Pattern/Spacing			Single row, one tree per home; 30' on center where planter is provided	
Other Condition(s)			Layered shrubs/grasses where planter is provided	
<b>LIGHTING</b>				
Light Model		None	None	
Placement				
Spacing				
<b>STREETSCAPE FURNITURE/OTHER</b>				
Furnishing(s)		None	None	
Other	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.			
<p>Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.</p>				<p>*Minimum setback distance to building from right-of-way.                  **24' garage court R.O.W. may be 22' minimum R.O.W.; garage court entry necks down from 24' R.O.W. down to 16' curb-to-curb.</p>



# Streetscape Development Standards

STREET SECTIONS

DETAIL	STREET TYPE	STREETSCAPE LANDSCAPE STANDARDS			STREET SECTION
	ALLEY				NEIGHBORHOOD ALLEY - R.O.W. Varies with Land Use Conditions
	KEY MAP	<p>TENTATIVE TRACT MAP SHALL FURTHER DELINEATE LOCATION OF THE LOCAL STREETS WITHIN THE DESIGNATED PLANNING AREAS.</p>			<p>ALLEYS 25' PRIVATE R.O.W.</p>
	ALLEY	MEDIAN None	CURB 0.5'/0.5'	PLANTER/PROPERTY Varies	
	LANDSCAPE				Garage Courts 24' PRIVATE R.O.W.**
	Tree Palette*		None	Species are street specific per individual neighborhoods	
	*Tree type(s) selected shall consistently be planted.				
	Pattern/Spacing			Single row, one tree per home; 30' on center where planter is provided	
	Other Condition(s)			Layered shrubs/grasses where planter is provided	
	LIGHTING				
	Light Model		None	None	
	Placement				
	Spacing				
	STREETSCAPE FURNITURE/OTHER				
	Furnishing(s)		None	None	
	Other	Utilities within the R.O.W. shall be screened with landscaping. Mountable curbs shall be installed along these streets.			
		Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.			<p>*Minimum setback distance to building from right-of-way.            **24' garage court R.O.W. may be 22' minimum R.O.W.; garage court entry necks down from 24' R.O.W. down to 16' curb-to-curb.</p>





# Streetscape Development Standards

TRAFFIC CALMING MEASURES

DETAIL	STREETScape LANDSCAPE STANDARDS		SITE PLAN PROTOTYPE																	
ROUNDABOUT			TYPICAL ROUNDABOUT																	
KEY MAP			<p>TYPICAL ROUNDABOUT TREATMENT</p> <p>Colored concrete with exposed aggregate finish to accentuate roundabout intersection and calm traffic</p> <p>Shrub/groundcover/grass mix</p> <p>Specimen trees grouped and centered within roundabout</p> <p>Decorative paving between roundabouts and crosswalks (OPTIONAL)</p> <p>Small landscaped median to define roundabout approach from each direction</p> <p>Parkway between sidewalk and curb edge</p> <p>Tree canopy on both sides of the street within the parkway</p> <p>Decorative paving through crosswalks with colored concrete and exposed aggregate finish (OPTIONAL)</p>																	
ROUNDABOUT	ROUNDABOUT 70' diameter	PARKWAY 6'		LANDSCAPE None																
DESCRIPTION	<p>Roundabouts are located to the southeast of the Linear Park Collector to manage vehicle movements and entry into these smaller residential neighborhoods. As gateways into these neighborhoods, roundabouts provide additional opportunities for landscaping and enhancing the streetscape.</p>																			
LANDSCAPE	<table border="1"> <thead> <tr> <th>Tree Palette*</th> <th>Italian Cypress Oak Olive Sycamore</th> <th>Golden Rain Tree Oak Pistache Sycamore</th> <th></th> </tr> </thead> <tbody> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Specimen trees, grouped on center with roundabout</td> <td>Single row, one tree per home</td> <td></td> </tr> <tr> <td>Other Condition(s)</td> <td>Shrub/groundcover/grass mix</td> <td>Turf</td> <td></td> </tr> </tbody> </table>			Tree Palette*	Italian Cypress Oak Olive Sycamore	Golden Rain Tree Oak Pistache Sycamore		*Tree type(s) selected shall consistently be planted.				Pattern/Spacing	Specimen trees, grouped on center with roundabout	Single row, one tree per home		Other Condition(s)	Shrub/groundcover/grass mix	Turf		
Tree Palette*	Italian Cypress Oak Olive Sycamore	Golden Rain Tree Oak Pistache Sycamore																		
*Tree type(s) selected shall consistently be planted.																				
Pattern/Spacing	Specimen trees, grouped on center with roundabout	Single row, one tree per home																		
Other Condition(s)	Shrub/groundcover/grass mix	Turf																		
OTHER	<table border="1"> <tbody> <tr> <td>Lighting</td> <td>None</td> <td>Reference Street Sections.</td> <td></td> </tr> <tr> <td>Other</td> <td colspan="3"> <p>Crosswalks may be paved decoratively.</p> <p>Utilities within the R.O.W. shall be screened with landscaping.</p> </td> </tr> </tbody> </table>			Lighting	None	Reference Street Sections.		Other	<p>Crosswalks may be paved decoratively.</p> <p>Utilities within the R.O.W. shall be screened with landscaping.</p>											
Lighting	None	Reference Street Sections.																		
Other	<p>Crosswalks may be paved decoratively.</p> <p>Utilities within the R.O.W. shall be screened with landscaping.</p>																			
	Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.		Roundabout detail conceptual in nature; design can be modified.																	

NOT TO SCALE



# Streetscape Development Standards

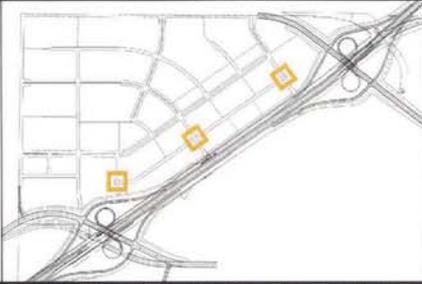
## TRAFFIC CALMING MEASURES

DETAIL STREET ELEMENT STREETScape LANDSCAPE STANDARDS SITE PLAN PROTOTYPE

**ROUNDABOUT**

**TYPICAL ROUNDABOUT**

**KEY MAP**



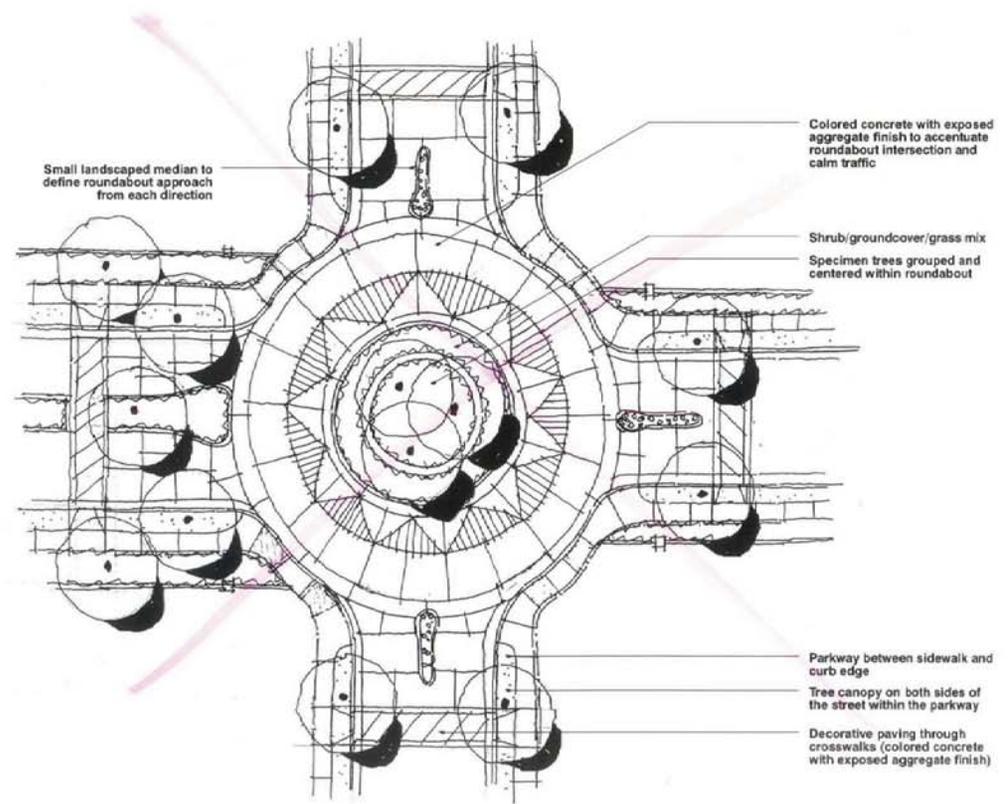
ROUNDABOUT	ROUNDABOUT	PARKWAY	LANDSCAPE
	70' diameter	6'	None

**DESCRIPTION**  
Roundabouts are located to the southeast of the Linear Park Collector to manage vehicle movements and entry into these smaller residential neighborhoods. As gateways into these neighborhoods, roundabouts provide additional opportunities for landscaping and enhancing the streetscape.

LANDSCAPE			
Tree Palette*	Italian Cypress Oak Olive Sycamore	Golden Rain Tree Oak Pistache Sycamore	
*Tree type(s) selected shall consistently be planted.			
Pattern/Spacing	Specimen trees, grouped on center with roundabout	Single row, one tree per home	
Other Condition(s)	Shrub/groundcover/grass mix	Turf	

OTHER			
Lighting	None	Reference Street Sections.	
Other	Crosswalks shall be paved decoratively. Utilities within the R.O.W. shall be screened with landscaping.		

**TYPICAL ROUNDABOUT TREATMENT**



Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.

Roundabout detail conceptual in nature; design can be modified.

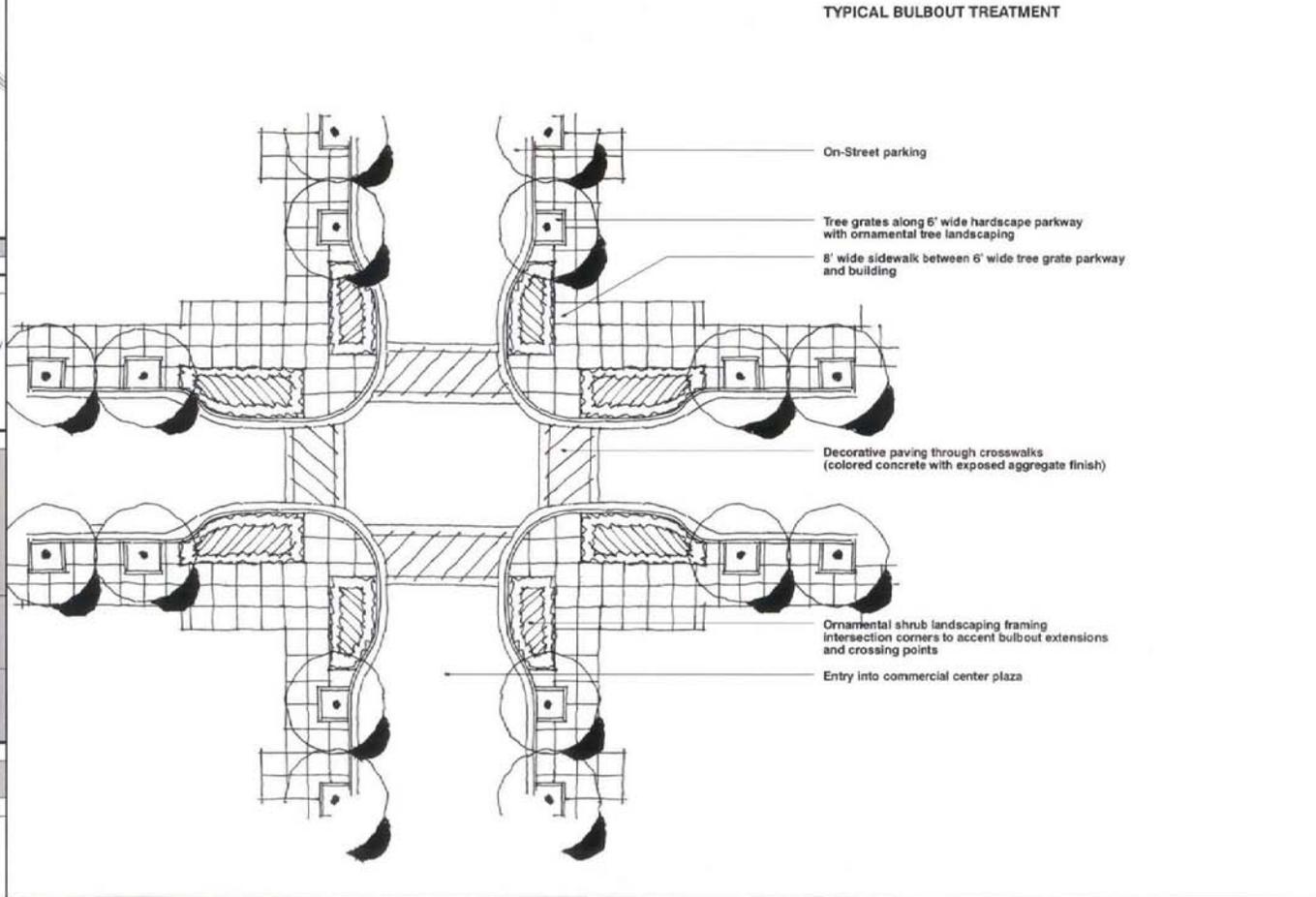




# Streetscape Development Standards

TRAFFIC CALMING MEASURES

DETAIL	STREETSCAPE LANDSCAPE STANDARDS		SITE PLAN PROTOTYPE																
<b>BULBOUT</b>			<b>TYPICAL BULBOUT</b>																
<b>KEY MAP</b>																			
<b>BULBOUT</b>	<b>BULBOUT</b>	<b>PARKWAY</b>	<b>LANDSCAPE</b>																
	+8' to parkway	6'	None																
<b>DESCRIPTION</b>	<p>Bulbouts (curb extensions) are located at specific intersections throughout the "Main Street" area and crossing points at neighborhood parks to provide for the safe pedestrian crossing, traffic-calming and aesthetic design unique to these conditions. They are designed to shorten crossing distances through the highly-trafficked commercial area, while improving visibility of pedestrians by bringing them to the vehicle-parked edge of the street. Furthermore, these extensions provide additional opportunities for landscaping and public amenities that are special and significant to the charm and character of the village commercial center and neighborhood parks/paseos network.</p>																		
<b>LANDSCAPE</b>	<table border="1"> <tr> <td>Tree Palette*</td> <td>Golden Rain Tree Laurel Pistache Sycamore</td> <td>Golden Rain Tree Laurel Pistache Sycamore</td> <td></td> </tr> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Single row, 25' on center</td> <td>Single row, 25' on center</td> <td></td> </tr> <tr> <td>Other Condition(s)</td> <td>Ornamental shrubs</td> <td>Tree grates in sidewalk behind curb within commercial village</td> <td></td> </tr> </table>			Tree Palette*	Golden Rain Tree Laurel Pistache Sycamore	Golden Rain Tree Laurel Pistache Sycamore		*Tree type(s) selected shall consistently be planted.				Pattern/Spacing	Single row, 25' on center	Single row, 25' on center		Other Condition(s)	Ornamental shrubs	Tree grates in sidewalk behind curb within commercial village	
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<b>OTHER</b>	<table border="1"> <tr> <td>Lighting</td> <td>None</td> <td>Reference Street Sections.</td> <td></td> </tr> <tr> <td>Other</td> <td colspan="3">                     Crosswalks shall be paved decoratively.                      Utilities within the R.O.W. shall be screened with landscaping.                 </td> </tr> </table>			Lighting	None	Reference Street Sections.		Other	Crosswalks shall be paved decoratively. Utilities within the R.O.W. shall be screened with landscaping.										
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Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.

Bulbout detail conceptual in nature; design can be modified.





# Streetscape Development Standards

DETAIL

STREET LIGHTING

HARLAN RANCH STREET LIGHTING PLAN

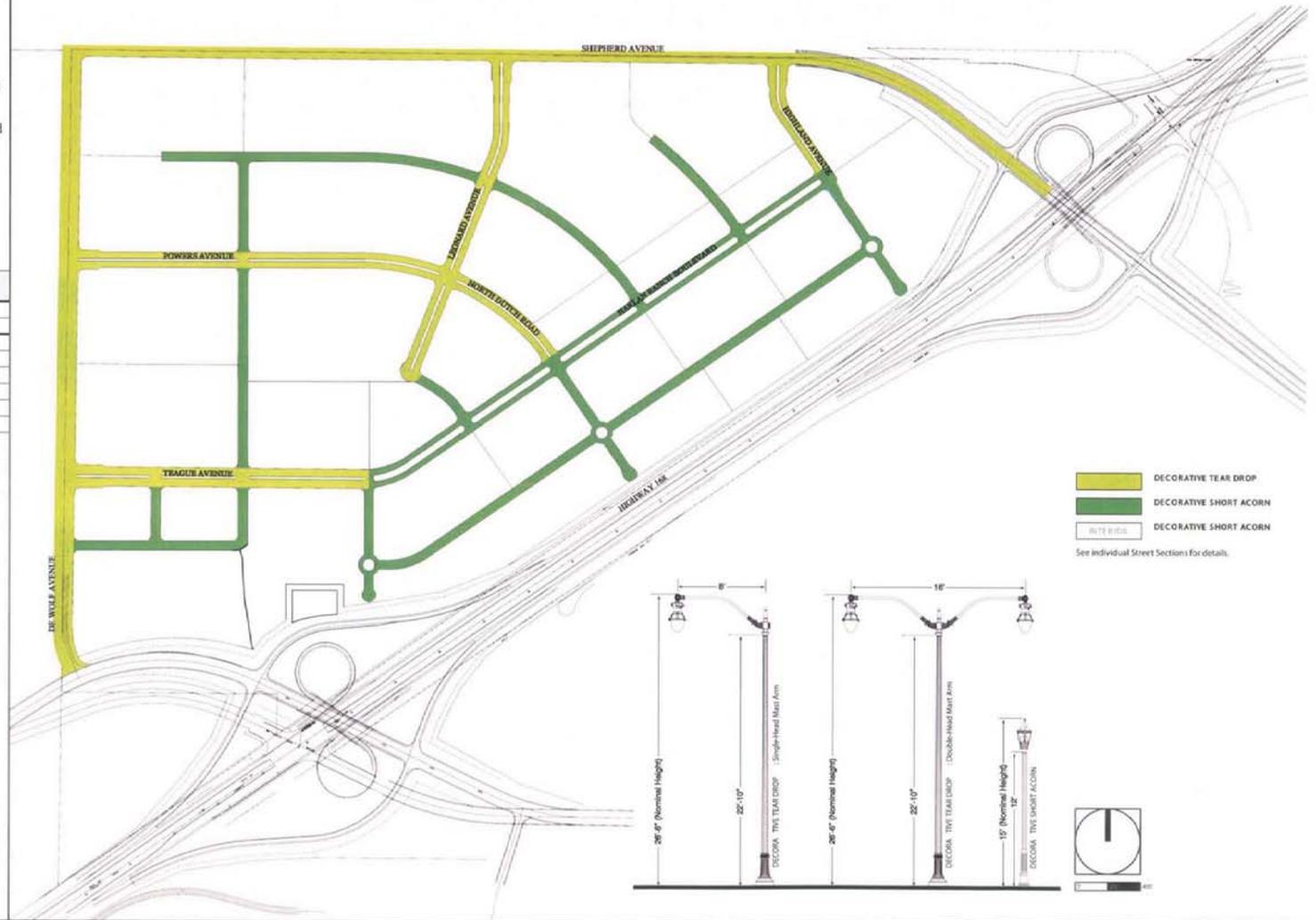
## STREET LIGHTING

Street lighting through the Harlan Ranch community is designed to enhance the aesthetic quality and safety of the streetscape corridors. The lighting design further reinforces the community structure and circulation hierarchy, through its physical design, application and intensity.

Decorative street lights, as illustrated below, shall be integrated into the streetscape corridors, reflecting the theme and character of the community, while providing a safe level of illumination for both pedestrians and motorists. Varying models of the same lighting design style, have been chosen to reinforce and address the needs of each Street Type. Lighting standards are specified in the Streetscape Development Standards as far as light model type, placement and spacing (per City of Clovis standards).

LIGHTING TYPE	MAINTENANCE RESPONSIBILITY
DECORATIVE TEAR DROP	
Public Streets	PG&E
DECORATIVE SHORT ACORN	
Public Streets	PG&E
Private Streets	PG&E
Gated Neighborhoods	PG&E
Parks and Trails Network	Harlan Ranch HOA
Public Easements	PG&E

Note: Coordination with PG&E on maintenance responsibility of these lines.



STREET LIGHTING





# Streetscape Development Standards

DETAIL

STREET LIGHTING

HARLAN RANCH STREET LIGHTING PLAN

STREET LIGHTING

### STREET LIGHTING

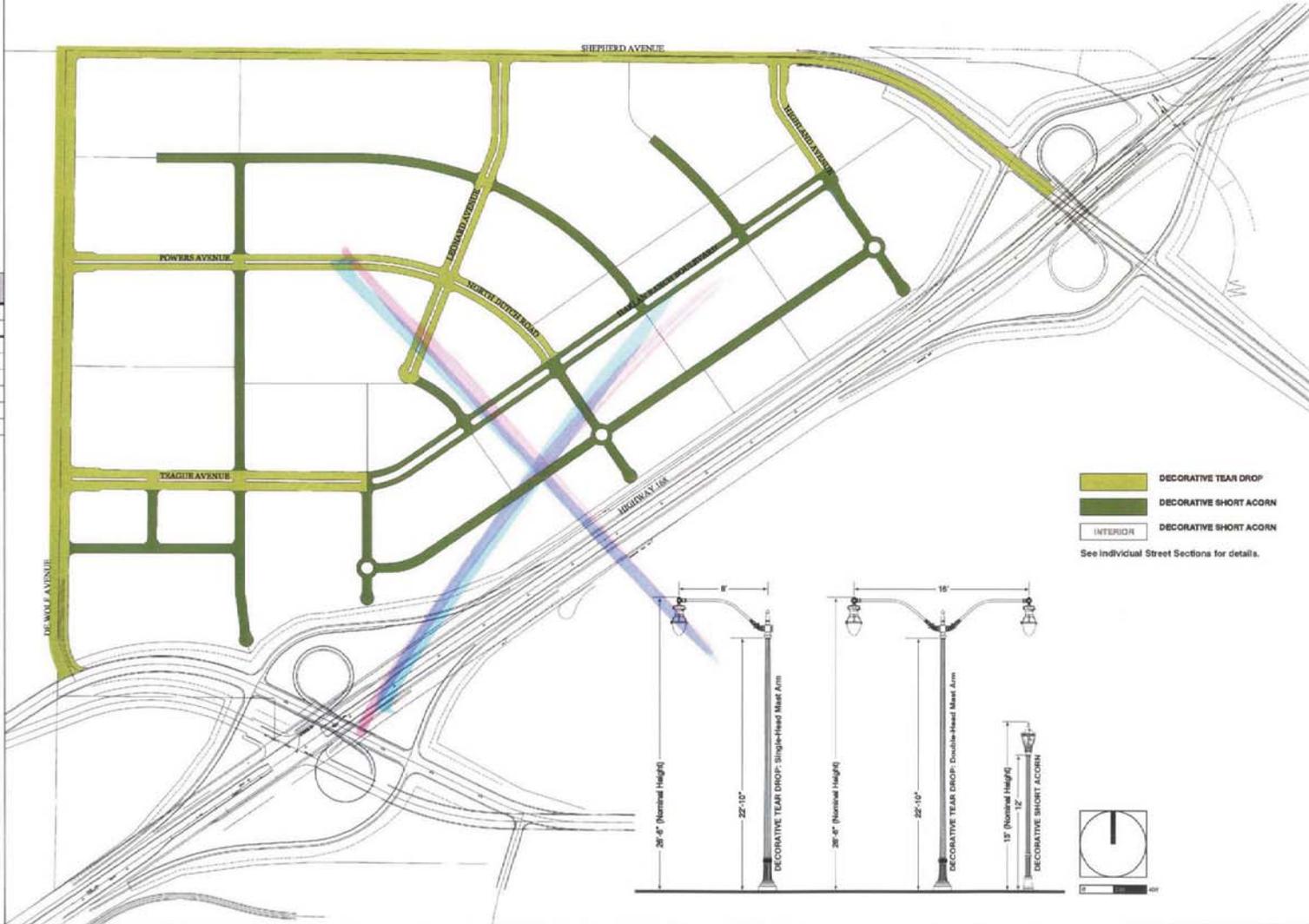
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Note: Coordination with PG&E on maintenance responsibility of these lines.

UPDATE SANDERS AVE



- DECORATIVE TEAR DROP
  - DECORATIVE SHORT ACORN
  - INTERIOR
  - DECORATIVE SHORT ACORN
- See Individual Street Sections for details.



# Landscape Development Standards

SECTION LANDSCAPE DEVELOPMENT STANDARDS COMMUNITY LANDSCAPE PLAN

COMMUNITY DESIGN DEVELOPMENT STANDARDS

**LANDSCAPE DESIGN PROGRAM**

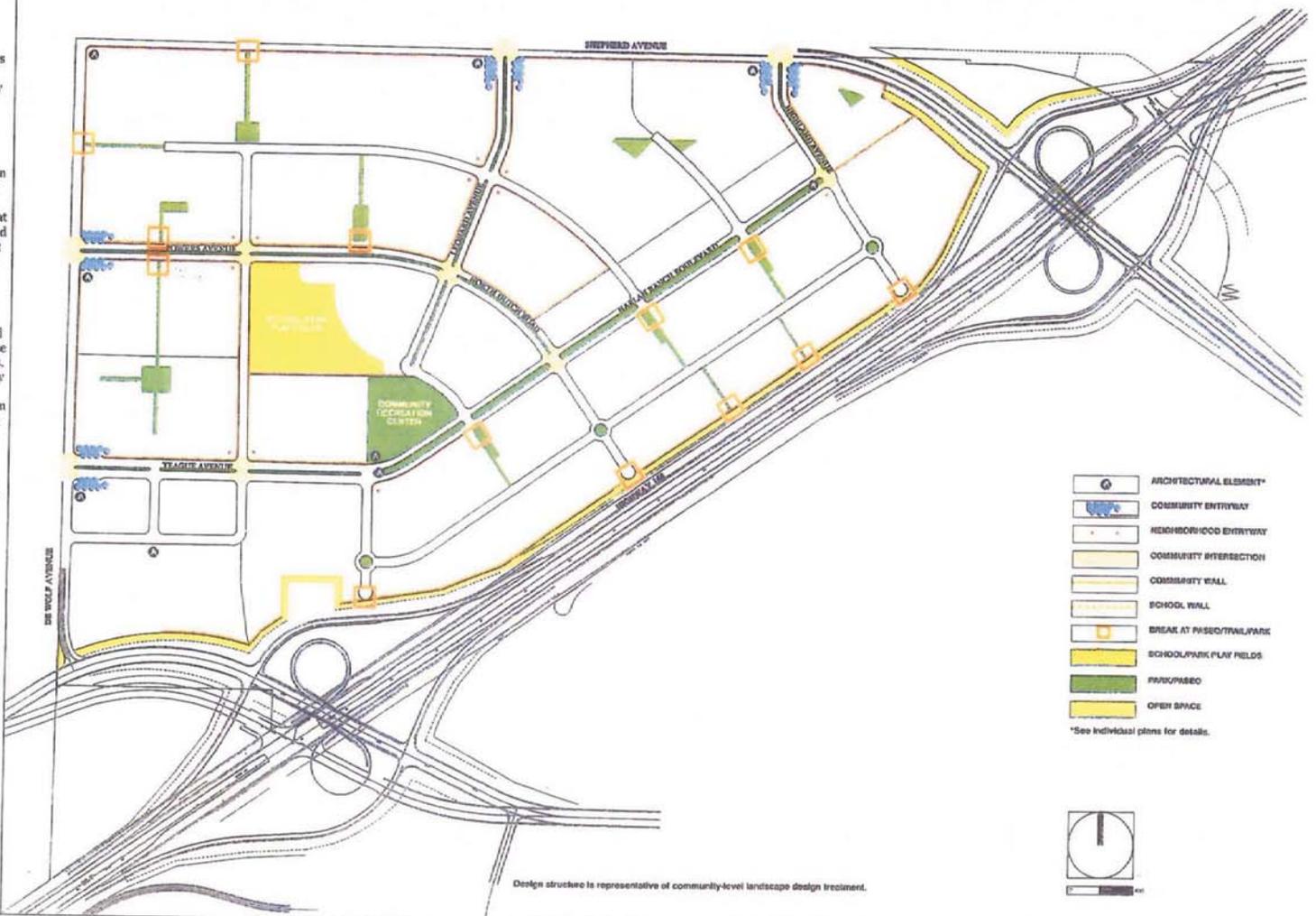
The program for this subsection of the Community Design Development Standards is organized to address the design detail of the project's landscape elements. The following pages document the requirements for development of the community's entryways, neighborhood entryways, community intersections, and walls/fences.

**COMMUNITY LANDSCAPE PLAN**

The Harlan Ranch Community Landscape Plan contains design elements that help to create a thematic, cohesive identity both within its surrounding environment and within itself. Architectural monumentation and landscaping will be placed at the community's primary entryways along arterials DeWolf and Shepherd Avenues. Their locations are respectively significant to the project's circulation pattern and hierarchy. In addition, a smaller architectural monument will also be located at the intersection of DeWolf and Shepherd Avenues to define the quadrant area.

Internally, the community will have a number of neighborhood entryways that require monumentation. The treatment of these areas, and other elements such as the community intersections, are aesthetically important for reinforcement of the community structure and identity through the consistent use of design materials. Key points of entry and intersection nodes have been defined where decorative treatment and change in landscaping materials will be proposed to enhance the experience through the community (see *Community Landscape Plan* to right).

In addition, the design and landscaping of community theme walls and fences located throughout the community, will play a large role in defining the major corridors and edges. Harlan Ranch has been designed to minimize the use of walls by introducing rear-loaded product and creating streetscapes that promote pedestrian-friendly and desirable environments. A number of breaks at paseos, trails and parks are provided to complete the pedestrian connectivity into each individual neighborhood. Where walls are used however, shrub and vine landscaping are proposed to help soften and treat the edges of these street corridors.



- ARCHITECTURAL ELEMENT\*
  - COMMUNITY ENTRYWAY
  - NEIGHBORHOOD ENTRYWAY
  - COMMUNITY INTERSECTION
  - COMMUNITY WALL
  - SCHOOL WALL
  - BREAK AT PASEO/TRAIL/PARK
  - SCHOOL/PARK PLAY FIELDS
  - PASEO/PASEO
  - OPEN SPACE
- \*See individual plans for details.

Design structure is representative of community-level landscape design treatment.





# Landscape Development Standards

SECTION LANDSCAPE DEVELOPMENT STANDARDS

COMMUNITY LANDSCAPE PLAN

COMMUNITY DESIGN DEVELOPMENT STANDARDS

## LANDSCAPE DESIGN PROGRAM

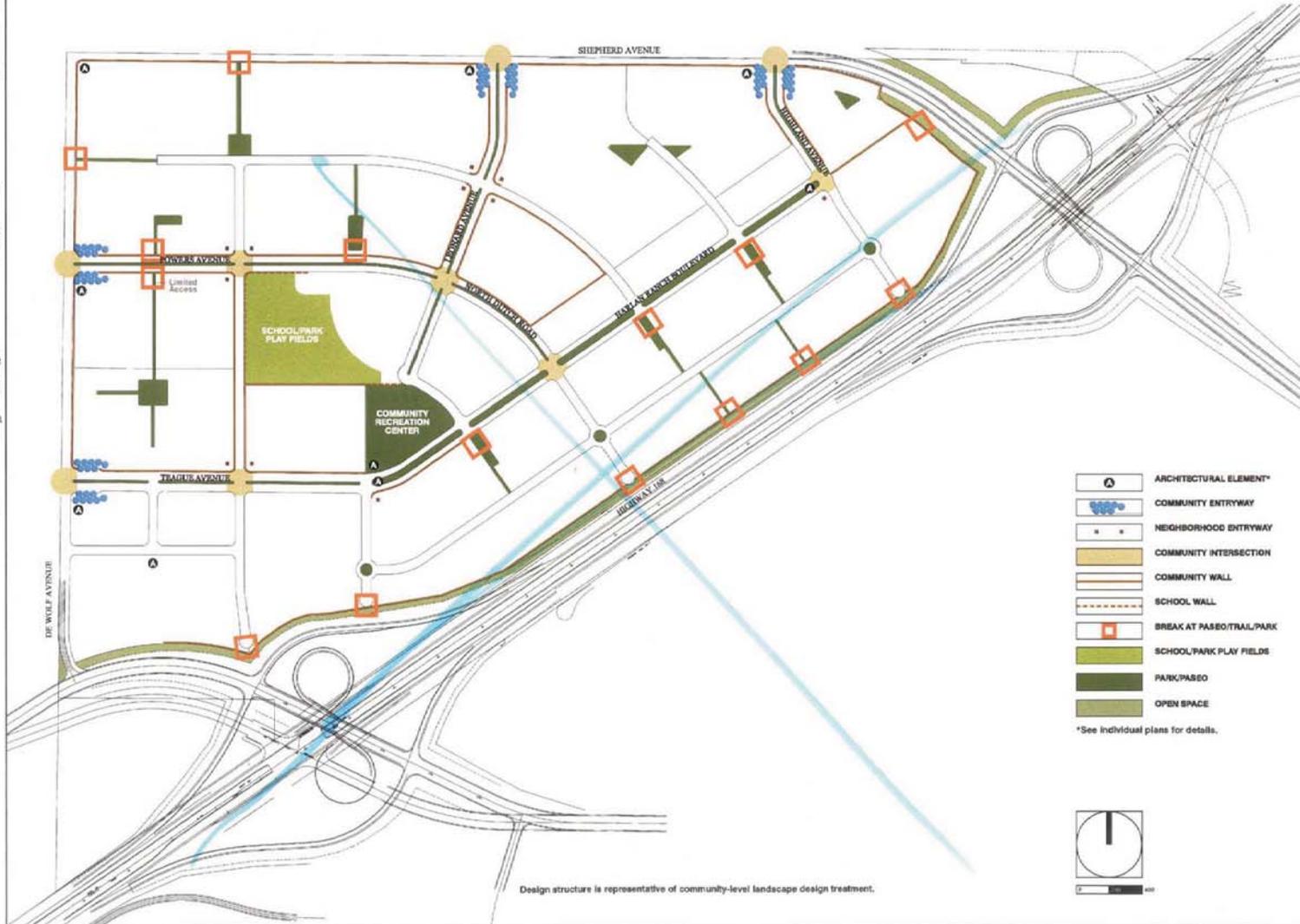
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# Landscape Development Standards

## ENTRY MONUMENTATIONS

DETAIL	LANDSCAPE ELEMENT	LANDSCAPE STANDARDS	LANDSCAPE ELEMENT ELEVATION / SITE PLAN								
	QUADRANT ENTRY		QUADRANT ENTRY at Shepherd Avenue/DeWolf Avenue								
	KEY MAP										
	QUADRANT ENTRY	LANDSCAPE +30' along DeWolf and Shepherd Avenues on HR-side									
	DESCRIPTION	<p>Quadrant Entry is a representative corner framing the boundaries of the Harlan Ranch community at the intersection of Shepherd and DeWolf Avenues. This entryway is designed to subtly define the quadrant by using the same landscape and architectural materials, colors and textures reflected in the community theme and character.</p>									
	LANDSCAPE	<table border="1"> <tr> <td>Tree Palette*</td> <td>Italian Cypress Oak Olive Palms Sycamore</td> </tr> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Orchard and linear accent planting scheme, 15'-30' on center</td> </tr> <tr> <td>Other Condition(s)</td> <td>Layered shrubs/grasses with turf and vines on community wall</td> </tr> </table>		Tree Palette*	Italian Cypress Oak Olive Palms Sycamore	*Tree type(s) selected shall consistently be planted.		Pattern/Spacing	Orchard and linear accent planting scheme, 15'-30' on center	Other Condition(s)	Layered shrubs/grasses with turf and vines on community wall
Tree Palette*	Italian Cypress Oak Olive Palms Sycamore										
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Pattern/Spacing	Orchard and linear accent planting scheme, 15'-30' on center										
Other Condition(s)	Layered shrubs/grasses with turf and vines on community wall										
	MONUMENTATION/OTHER	<table border="1"> <tr> <td>Monumentation</td> <td>Free-standing stone pilaster and low stone wall.</td> </tr> <tr> <td>Special Lighting</td> <td>Up lit to accent monumentation and landscaping.</td> </tr> <tr> <td>Other</td> <td>Crosswalks shall be striped. Utilities within the R.O.W. shall be screened with landscaping.</td> </tr> </table>		Monumentation	Free-standing stone pilaster and low stone wall.	Special Lighting	Up lit to accent monumentation and landscaping.	Other	Crosswalks shall be striped. Utilities within the R.O.W. shall be screened with landscaping.		
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**ENTRYWAY TREATMENT**

Labels in the elevation and site plan include:

- QUADRANT ENTRY at Shepherd Avenue/DeWolf Avenue
- ENTRYWAY TREATMENT
- 8' wide paseo
- Double tree row framing 8' wide paseo with turf adjacent to roadway and layered shrubs/grasses along community theme wall
- Olive tree accent
- Architectural element: stone monument framed by low stone wall and shrubs
- Ornamental shrubs in parkway at intersection corner
- Palm tree accent framing entry treatment with layered shrubs
- Olive trees framing 5' wide sidewalk
- Community theme wall with stone pilasters and layered shrubs/vines
- DEWOLF AVENUE
- SHEPHERD AVENUE
- NOT TO SCALE

Quadrant area entryway illustration conceptual in nature.



# Landscape Development Standards

ENTRY MONUMENTATIONS

DETAIL	LANDSCAPE ELEMENT	LANDSCAPE STANDARDS	LANDSCAPE ELEMENT ELEVATION / SITE PLAN																
	COMMUNITY ENTRY		COMMUNITY ENTRYWAY at Shepherd Avenue/Leonard Avenue																
	KEY MAP																		
	COMMUNITY ENTRY	<table border="1"> <thead> <tr> <th>MEDIAN</th> <th>PARKWAY</th> <th>LANDSCAPE</th> </tr> </thead> <tbody> <tr> <td>12'</td> <td>10'/10'</td> <td>50'/50'</td> </tr> </tbody> </table>	MEDIAN	PARKWAY	LANDSCAPE	12'	10'/10'	50'/50'	<p style="text-align: right;"><b>ENTRYWAY TREATMENT</b></p>										
MEDIAN	PARKWAY	LANDSCAPE																	
12'	10'/10'	50'/50'																	
	DESCRIPTION	<p>Community entryways are primary points of entry into the Harlan Ranch community from arterials Shepherd and DeWolf Avenues. These entryways are designed to create a significant statement and sense of arrival to the community. Their designs set the community theme and character by using the same materials, colors and textures for the architectural monumentation of these entryways. The landscaping design shall also vary slightly in each of the entryways to create uniqueness and hierarchy between the four of them, as will the adjacent land uses of these areas.</p>	<p>Community theme wall with stone pilasters and layered shrubs/vines</p> <p>5' wide sidewalk</p> <p>Orchard rows of Olive trees with layered shrubs</p> <p>Ornamental shrubs through parkway</p> <p>Low stone wall framing 5' wide sidewalk</p> <p>Formal tree groupings to accent arrival and entry</p> <p>7' wide community paseo</p> <p>Palm tree accent and orchard planting scheme through median entry with shrubs</p> <p>Architectural element: archway as entry monument with paseo passing through</p> <p>Walkway provided through orchard rows</p> <p>Low stone wall wrapping landscape area with Harlan Ranch sign</p> <p>Decorative paving in crosswalks with colored concrete and exposed aggregate finish (OPTIONAL)</p>																
	LANDSCAPE	<table border="1"> <thead> <tr> <th>Tree Palette*</th> <th>Crape Myrtle Oak Olive Palms Sycamore</th> <th>Oak Palms Pistache Sycamore</th> <th>Italian Cypress Oak Palms Pistache Sycamore</th> </tr> </thead> <tbody> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Single row, alternating tree species pattern, 15'-30' on center</td> <td>Single row, 15'-30' on center</td> <td>Single row, 15'-30' on center</td> </tr> <tr> <td>Other Condition(s)</td> <td>Layered shrubs/grasses</td> <td>Ornamental shrubs/grasses with turf</td> <td>Layered shrubs/grasses with vines on community wall</td> </tr> </tbody> </table>	Tree Palette*	Crape Myrtle Oak Olive Palms Sycamore	Oak Palms Pistache Sycamore	Italian Cypress Oak Palms Pistache Sycamore	*Tree type(s) selected shall consistently be planted.				Pattern/Spacing	Single row, alternating tree species pattern, 15'-30' on center	Single row, 15'-30' on center	Single row, 15'-30' on center	Other Condition(s)	Layered shrubs/grasses	Ornamental shrubs/grasses with turf	Layered shrubs/grasses with vines on community wall	
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	MONUMENTATION/OTHER	<p>Monumentation: None   Archway and low stone wall</p> <p>Special Lighting: Up lit to accent monumentation and landscaping; small lanterns on archway.</p> <p>Other: Crosswalks may be paved decoratively. Utilities within the R.O.W. shall be screened with landscaping.</p>																	
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# Landscape Development Standards

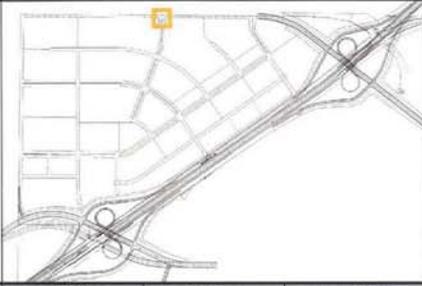
## ENTRY MONUMENTATIONS

DETAIL	LANDSCAPE ELEMENT	LANDSCAPE STANDARDS	LANDSCAPE ELEMENT ELEVATION / SITE PLAN
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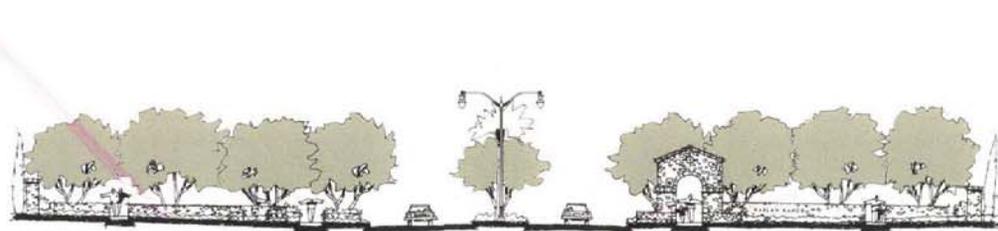
COMMUNITY ENTRY

COMMUNITY ENTRYWAY at Shepherd Avenue/Leonard Avenue

KEY MAP



ENTRYWAY TREATMENT



COMMUNITY ENTRY	MEDIAN	PARKWAY	LANDSCAPE
	12'	10'/10'	50'/50'

DESCRIPTION

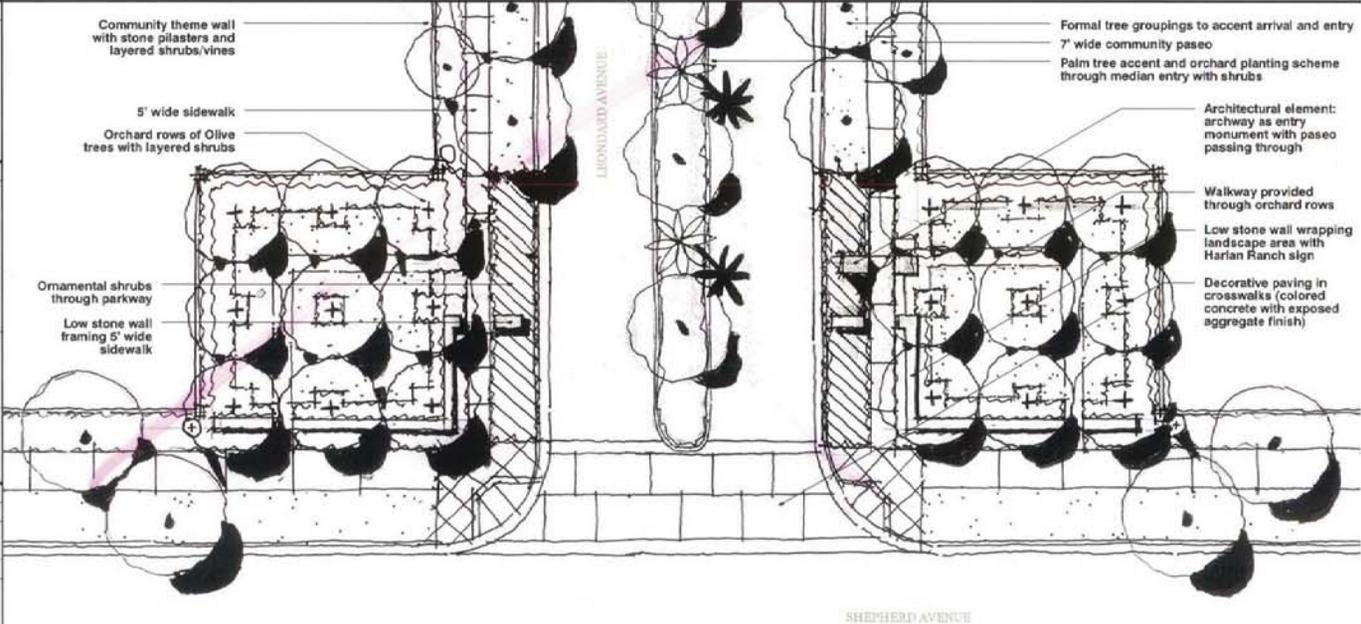
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LANDSCAPE

Tree Palette*	Crape Myrtle Oak Olive Palms Sycamore	Oak Palms Pistache Sycamore	Italian Cypress Oak Palms Pistache Sycamore
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Pattern/Spacing	Single row, alternating tree species pattern, 15'-30' on center	Single row, 15'-30' on center	Single row, 15'-30' on center
Other Condition(s)	Layered shrubs/grasses	Ornamental shrubs/grasses with turf	Layered shrubs/grasses with vines on community wall

MONUMENTATION/OTHER

Monumentation	None	Archway and low stone wall
Special Lighting	Up lit to accent monumentation and landscaping; small lanterns on archway.	
Other	Crosswalks shall be paved decoratively. Utilities within the R.O.W. shall be screened with landscaping.	



Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.

Community entryway illustration conceptual in nature.

NOT TO SCALE



# Landscape Development Standards

ENTRY MONUMENTATIONS

DETAIL	LANDSCAPE STANDARDS			LANDSCAPE ELEMENT ELEVATION / SITE PLAN
COMMUNITY ENTRY				COMMUNITY ENTRYWAY at DeWolf Avenue/Teague Avenue
KEY MAP				<p style="text-align: right;">ENTRYWAY TREATMENT</p>
COMMUNITY ENTRY	MEDIAN 12'	PARKWAY 10'/10'	LANDSCAPE 50'/50'	
DESCRIPTION	<p>Community entryways are primary points of entry into the Harlan Ranch community from arterials Shepherd and DeWolf Avenues. Their designs are designed to create a significant statement and sense of arrival to the community. Their designs set the community theme and character by using the same materials, colors and textures for the architectural monumentation of these entryways. The landscaping design shall also vary slightly in each of the entryways to create uniqueness and hierarchy between the four of them, as will the adjacent land uses of these areas.</p>			<p>Low stone wall framing 5' wide sidewalk</p> <p>Double row Palm tree planting scheme with ornamental shrubs</p> <p>Community theme wall with stone pilasters and layered shrubs/vines</p> <p>Ornamental shrubs through parkway</p> <p>Low stone wall framing 5' wide sidewalk</p> <p>Palm tree accent and orchard planting scheme through median entry with shrubs</p> <p>8' wide community paseo</p> <p>Double row Palm tree planting scheme with ornamental shrubs</p> <p>Architectural element: archway as entry monument with paseo passing through</p> <p>Decorative paving in crosswalks with colored concrete and exposed aggregate finish (OPTIONAL)</p> <p>Turf area</p>
LANDSCAPE	<p>Tree Palette*</p> <p>Crape Myrtle Laurel Olive Palms Sycamore</p>	<p>Deciduar Cedar Oak Olive Palms Sycamore</p>	<p>Crape Myrtle Italian Cypress Laurel Olive Palms Pistache</p>	
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Other Condition(s)	Layered shrubs/grasses	Ornamental shrubs/grasses with turf	Layered shrubs/grasses with vines on community wall	
MONUMENTATION/OTHER	<p>Monumentation: None</p> <p>Special Lighting: Up lit to accent monumentation and landscaping; small lanterns on archway.</p> <p>Other: Crosswalks may be paved decoratively. Utilities within the R.O.W. shall be screened with landscaping.</p>			
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# Landscape Development Standards

## ENTRY MONUMENTATIONS

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# Landscape Development Standards

ENTRY MONUMENTATIONS

DETAIL	LANDSCAPE ELEMENT	LANDSCAPE STANDARDS	LANDSCAPE ELEMENT ELEVATION / SITE PLAN																
	COMMUNITY ENTRY		COMMUNITY ENTRYWAY at DeWolf Avenue/Powers Avenue																
	KEY MAP																		
	COMMUNITY ENTRY	<table border="1"> <thead> <tr> <th>MEDIAN</th> <th>PARKWAY</th> <th>LANDSCAPE</th> </tr> </thead> <tbody> <tr> <td>12'</td> <td>10'/10'</td> <td>50'/50'</td> </tr> </tbody> </table>	MEDIAN	PARKWAY	LANDSCAPE	12'	10'/10'	50'/50'	<p style="text-align: center;">ENTRYWAY TREATMENT</p>										
MEDIAN	PARKWAY	LANDSCAPE																	
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	DESCRIPTION	<p>Community entryways are primary points of entry into the Harlan Ranch community from arterials Shepherd and DeWolf Avenues. These entryways are designed to create a significant statement and sense of arrival to the community. Their designs set the community theme and character by using the same materials, colors and textures for the architectural ornamentation of these entryways. The landscaping design shall also vary slightly in each of the entryways to create uniqueness and hierarchy between the four of them, as will the adjacent land uses of these areas.</p>	<p>Formal groupings of accent trees at entry 5' wide sidewalk Double row Palm tree planting scheme with ornamental shrubs Low stone wall framing 5' wide sidewalk Orchard rows of Olive trees with layered shrubs Low stone wall wrapping landscape area with Harlan Ranch sign Community theme wall with stone pilasters and layered shrubs/grasses/vines Palm tree accent and orchard planting scheme through median entry with shrubs 7' wide community paseo Architectural element: archway as entry monument with paseo passing through Ornamental shrubs in parkway Decorative paving in crosswalks with colored concrete and exposed aggregate finish (OPTIONAL)</p>																
	LANDSCAPE	<table border="1"> <thead> <tr> <th>Tree Palette*</th> <th>Crape Myrtle Oak Olive Palm Sycamore</th> <th>Oak Palms Pistache Sycamore</th> <th>Italian Cypress Oak Palms Pistache Sycamore</th> </tr> </thead> <tbody> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Single row, alternating tree species pattern, 15'-30' on center</td> <td>Single row, aligned with landscape area pattern, 15'-30' on center</td> <td>Single row, aligned with parkway area pattern, and orchard planting scheme, 15'-30' on center</td> </tr> <tr> <td>Other Condition(s)</td> <td>Layered shrubs/grasses</td> <td>Ornamental shrubs/grasses with turf</td> <td>Layered shrubs/grasses with vines on community wall</td> </tr> </tbody> </table>	Tree Palette*	Crape Myrtle Oak Olive Palm Sycamore	Oak Palms Pistache Sycamore	Italian Cypress Oak Palms Pistache Sycamore	*Tree type(s) selected shall consistently be planted.				Pattern/Spacing	Single row, alternating tree species pattern, 15'-30' on center	Single row, aligned with landscape area pattern, 15'-30' on center	Single row, aligned with parkway area pattern, and orchard planting scheme, 15'-30' on center	Other Condition(s)	Layered shrubs/grasses	Ornamental shrubs/grasses with turf	Layered shrubs/grasses with vines on community wall	
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# Landscape Development Standards

## ENTRY MONUMENTATIONS

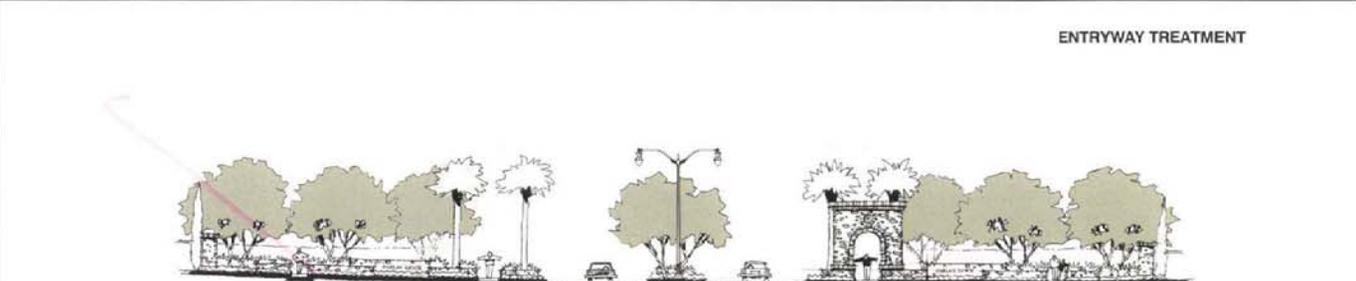
DETAIL

LANDSCAPE ELEMENT LANDSCAPE STANDARDS

LANDSCAPE ELEMENT ELEVATION / SITE PLAN

COMMUNITY ENTRY

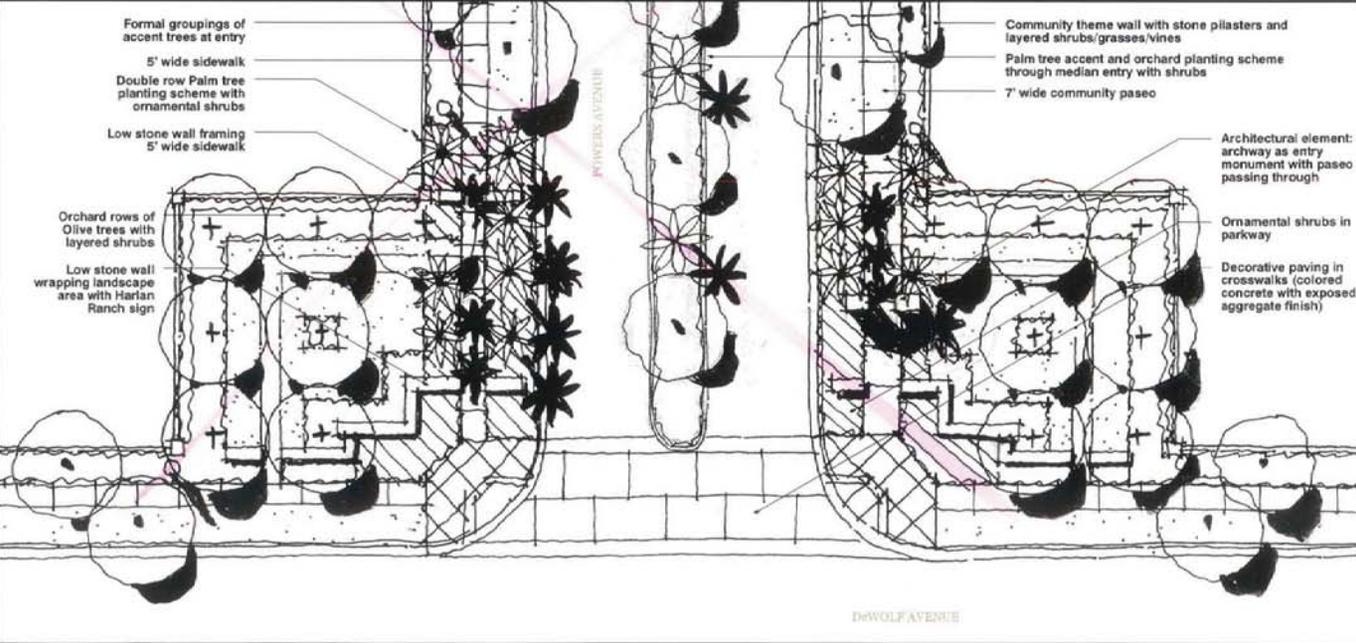
COMMUNITY ENTRYWAY at DeWolf Avenue/Powers Avenue



COMMUNITY ENTRY	MEDIAN	PARKWAY	LANDSCAPE
	12'	10'/10'	50'/50'

**DESCRIPTION**  
Community entryways are primary points of entry into the Harlan Ranch community from arterials Shepherd and DeWolf Avenues. These entryways are designed to create a significant statement and sense of arrival to the community. Their designs set the community theme and character by using the same materials, colors and textures for the architectural monumentation of these entryways. The landscaping design shall also vary slightly in each of the entryways to create uniqueness and hierarchy between the four of them, as will the adjacent land uses of these areas.

LANDSCAPE	Tree Palette*		
Tree Palette*	Crape Myrtle Oak Olive Palms Sycamore	Oak Palms Pistache Sycamore	Italian Cypress Oak Palms Pistache Sycamore
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Pattern/Spacing	Single row, alternating tree species pattern, 15'-30' on center	Single row, aligned with landscape area pattern, 15'-30' on center	Single row, aligned with parkway area pattern, and orchard planting scheme, 15'-30' on center
Other Condition(s)	Layered shrubs/grasses	Ornamental shrubs/grasses with turf	Layered shrubs/grasses with vines on community wall



MONUMENTATION/OTHER	None	
Monumentation	None	Archway and low stone wall
Special Lighting	Up lit to accent monumentation and landscaping; small lanterns on archway.	
Other	Crosswalks shall be paved decoratively. Utilities within the R.O.W. shall be screened with landscaping.	

Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.

Community entryway illustration conceptual in nature.





# Landscape Development Standards

ENTRY MONUMENTATIONS

DETAIL	LANDSCAPE STANDARDS			LANDSCAPE ELEMENT ELEVATION / SITE PLAN
COMMUNITY ENTRY				COMMUNITY ENTRYWAY at Shepherd Avenue/Highland Avenue
KEY MAP				<p style="text-align: center;"><b>ENTRYWAY TREATMENT</b></p>
COMMUNITY ENTRY	MEDIAN 12'	PARKWAY 10'/10'	LANDSCAPE 50'/50'	
DESCRIPTION	<p>Community entryways are primary points of entry into the Harlan Ranch community from arterials Shepherd and DeWulf Avenues. These entryways are designed to create a significant statement and sense of arrival to the community. Their designs set the community theme and character by using the same materials, colors and textures for the architectural monumentation of these entryways. The landscaping design shall also vary slightly in each of the entryways to create uniqueness and hierarchy between the four of them, as will the adjacent land uses of these areas.</p>			
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	<p>Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.</p>			<p>Community entryway illustration conceptual in nature.</p> <p style="text-align: right;">NOT TO SCALE</p>



# Landscape Development Standards

## ENTRY MONUMENTATIONS

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# Landscape Development Standards

## ENTRY MONUMENTATIONS

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# Landscape Development Standards

## ENTRY MONUMENTATIONS

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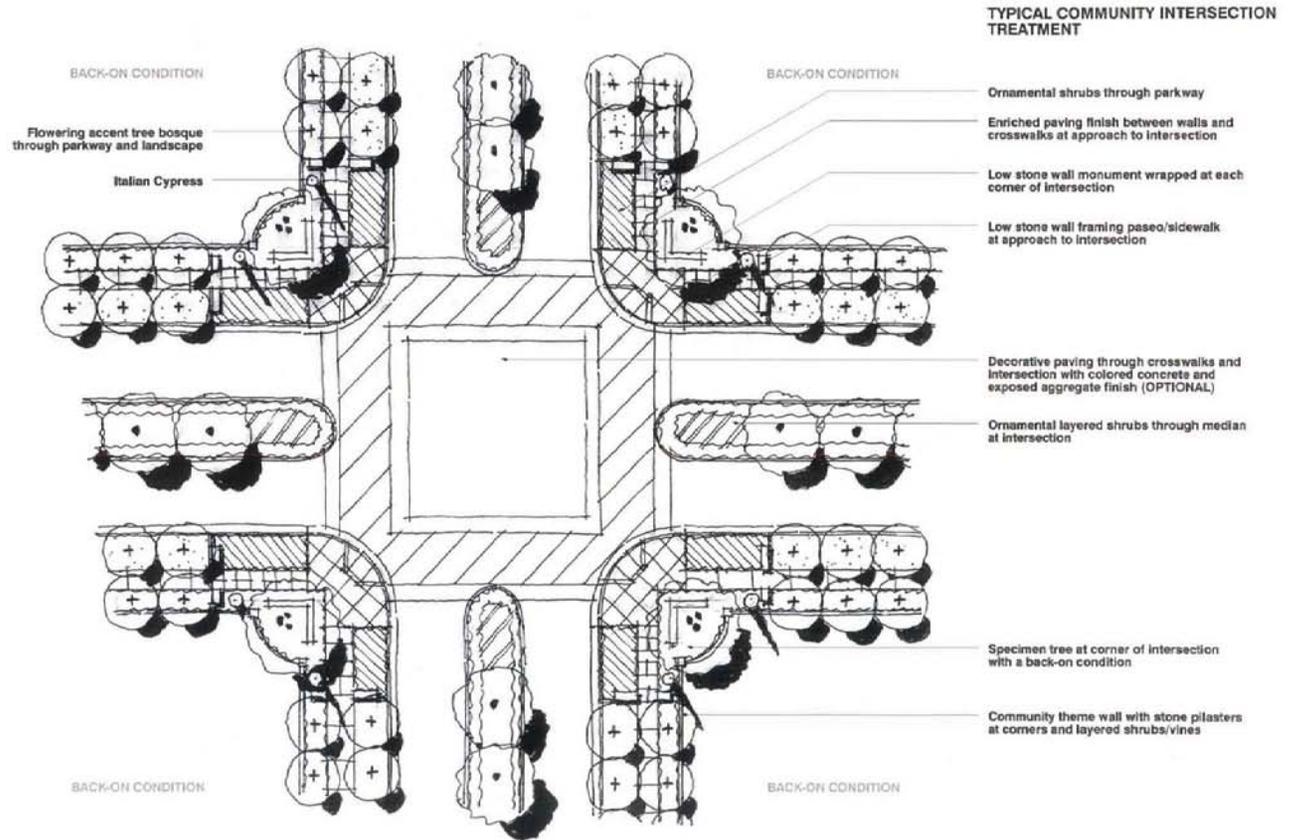


# Landscape Development Standards

## COMMUNITY INTERSECTIONS

DETAIL	LANDSCAPE ELEMENT	LANDSCAPE STANDARDS		LANDSCAPE ELEMENT SITE PLAN																
	COMMUNITY INTERSECTION			TYPICAL COMMUNITY INTERSECTION																
	KEY MAP																			
	COMMUNITY INTERSECTION	MEDIAN	PARKWAY	LANDSCAPE																
		Varies	Varies	Varies																
	DESCRIPTION	<p>Community intersections are significant nodes within the community sequenced along the community-level roadway system. These intersections are designed to enhance the sense of arrival at key intervals and amenities throughout the community, while calming traffic for pedestrian safety by calling these areas to attention. They also provide additional opportunities for landscape treatment to reinforce the community theme and character.</p>																		
	LANDSCAPE	<table border="1"> <tr> <td>Tree Palette*</td> <td>Golden Rain Tree Laurel Pistache Sycamore</td> <td>Golden Rain Tree Laurel Pistache Sycamore</td> <td>Golden Rain Tree Italian Cypress Laurel Olive Pistache Sycamore</td> </tr> <tr> <td>*Tree type(s) selected shall consistently be planted.</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pattern/Spacing</td> <td>Single row, 15'-30' on center</td> <td>Single row, 15'-30' on center</td> <td>Single row, 15'-30' on center</td> </tr> <tr> <td>Other Condition(s)</td> <td>Layered shrubs/grasses</td> <td>Ornamental shrubs/grasses with turf</td> <td>Layered shrubs/grasses with vines on community wall</td> </tr> </table>			Tree Palette*	Golden Rain Tree Laurel Pistache Sycamore	Golden Rain Tree Laurel Pistache Sycamore	Golden Rain Tree Italian Cypress Laurel Olive Pistache Sycamore	*Tree type(s) selected shall consistently be planted.				Pattern/Spacing	Single row, 15'-30' on center	Single row, 15'-30' on center	Single row, 15'-30' on center	Other Condition(s)	Layered shrubs/grasses	Ornamental shrubs/grasses with turf	Layered shrubs/grasses with vines on community wall
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TYPICAL COMMUNITY INTERSECTION



Community Intersection Illustration conceptual in nature, land use conditions and street sections at these community intersections vary.





# Landscape Development Standards

## WALLS AND FENCES

DETAIL	LANDSCAPE ELEMENT	LANDSCAPE STANDARDS	LANDSCAPE ELEMENT ELEVATION
--------	-------------------	---------------------	-----------------------------

	COMMUNITY WALL		TYPICAL COMMUNITY WALL - Varies with Land Use Conditions
--	----------------	--	--



COMMUNITY WALL	COMMUNITY	SCHOOL	HIGHWAY 168
	--	--	--

**DESCRIPTION**  
Community walls are located around the perimeter of the community and individual neighborhoods within the community, typically along the community-level roadway system with the exception of land use conditions that require otherwise. Wall conditions are minimized throughout the community to create a friendlier pedestrian environment. Where there is a need for connectivity, such as paseos/trails between neighborhoods and to neighborhood parks, breaks in walls are provided at these opportunities.

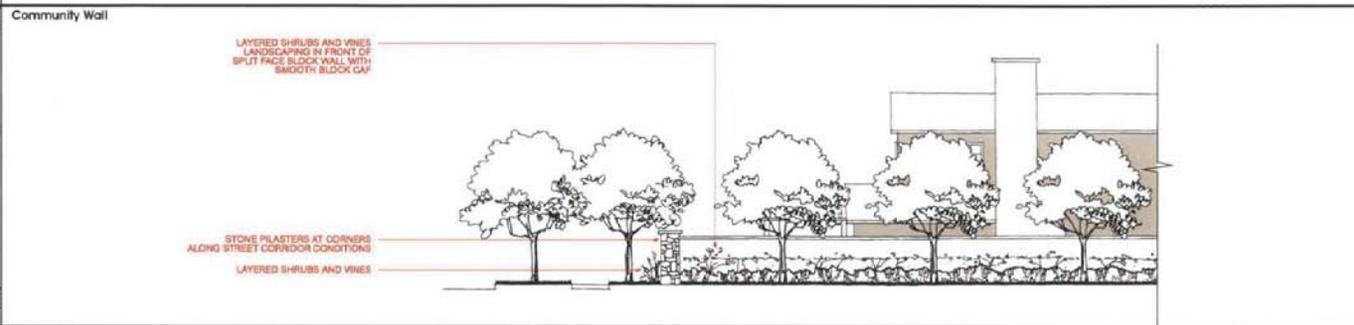
WALL TREATMENT			
Height	6' min	6' min	6' min*
Pilaster Spacing	Pilasters required at corners	One pilaster per 200' wall length min	None
Color(s)	Tan	Black	Tan
Material(s)	Split face block wall with smooth block cap; stone pilasters	Tubular steel fence with stone pilasters	Block wall

LANDSCAPE			
Condition(s)	Typically layered shrubs/grasses with vines on community wall; see specific conditions as specified in respective Street Sections.	Low-Medium shrubs planted along fence between pilasters	Random groupings of trees and shrubs occasionally planted throughout the open space area along the sound wall

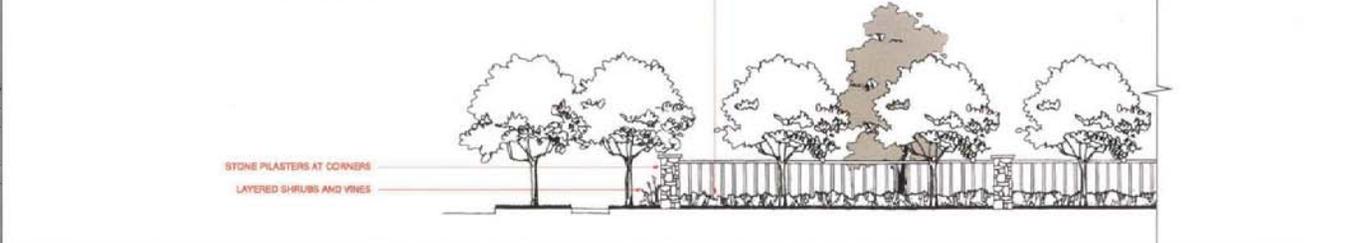
OTHER			
Special Lighting	Bollards at paseo/trail; open space trail lighting limited to openings	None	None

\*Height of sound wall adjacent to Highway 168 to be determined by Noise Study. Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.

Community Wall



School Wall



Wall illustrations conceptual in nature.





# Recreation Development Standards

SECTION RECREATION DEVELOPMENT STANDARDS

PARKS AND TRAILS PLAN

COMMUNITY DESIGN DEVELOPMENT STANDARDS

### RECREATION DESIGN PROGRAM

The program for this subsection of the Community Design Development Standards is organized to address the design detail of the project's recreation element. The following pages document the requirements for development of the community's various park types and trail conditions.

### PARKS AND TRAILS PLAN

The Harlan Ranch pedestrian circulation is handled through a hierarchy of pathways that coincide with the significance of the vehicular circulation pattern (see Parks and Trails Plan to right). Pedestrian access into and out of the community is integral in fostering the regional connectivity throughout the area, and serving accessibility to commercial and public/institutional uses such as the elementary school, located central to the community.

Community-level collector roads are supported by a community paseo system. A finer level of trails and sidewalks support this paseo system by connecting into the individual neighborhoods. The significance of the community's overall pedestrian circulation pattern is the creation of an origin-destination network that creates a sense of arrival at a number of scales from the community recreation center down to the individual neighborhood parks. These smaller parks are linked together by a combination of paseos with trails and sidewalks adjacent to streets. The variety of recreational amenities fosters social activity and community gathering between members of all neighborhoods.

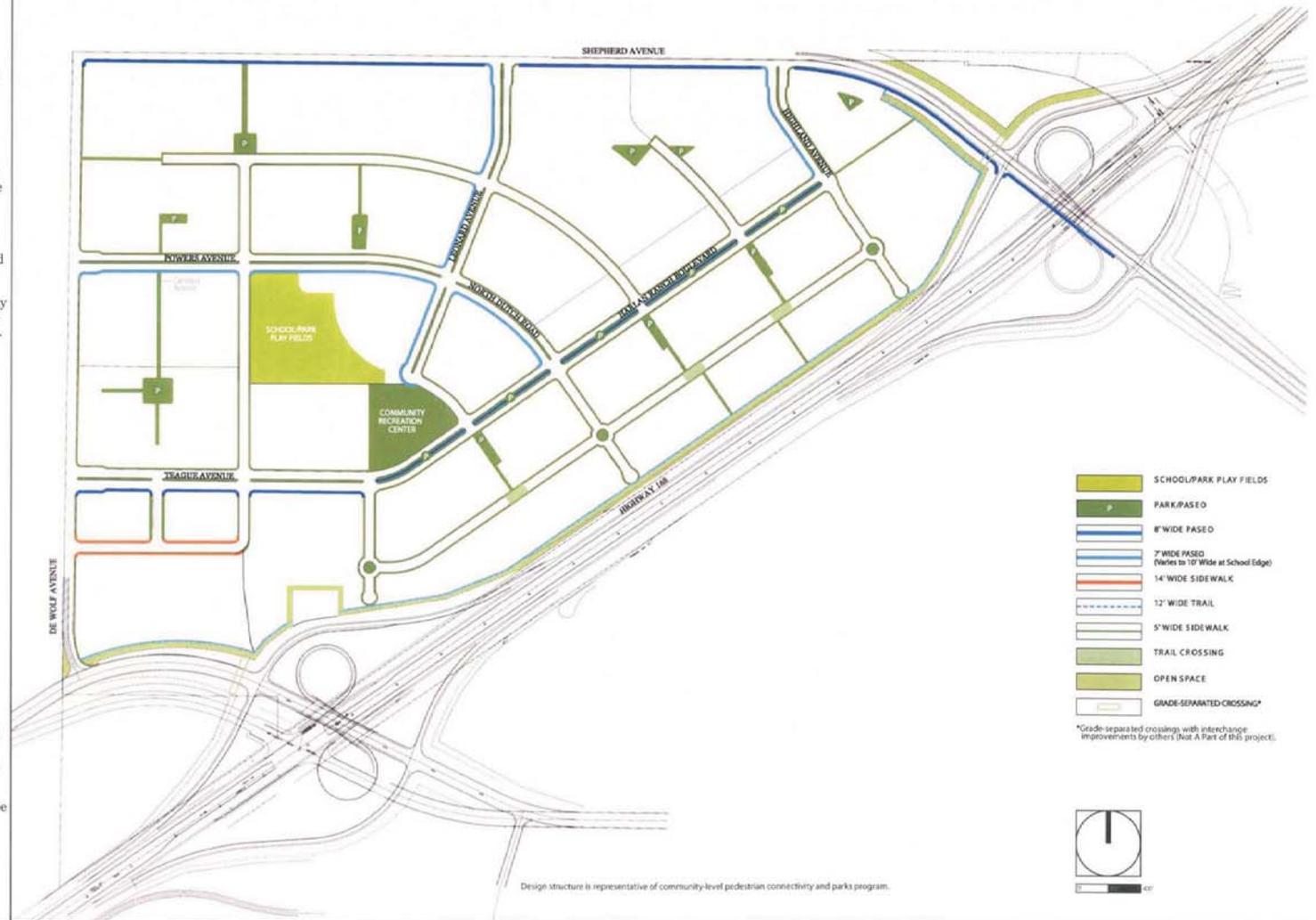
### PARK DESIGN

Special and significant recreational amenities are integrated within the community's recreation center park site and the ceremonial linear park feature that hosts a number of unique, passive recreational uses. As the central components of the project, a network of neighborhood parks and paseos radiate from this synergistic focal point. Neighborhood park design programs will vary individually, reflecting the buyer's market/profile of each of the community's neighborhoods. Refer to the following pages for the park programs and design concepts proposed in these areas.

### PEDESTRIAN CIRCULATION DESIGN

Based on the pedestrian circulation plan discussed above, each pathway-type has been designed to coincide with its right-of-way. Unmarked bikeways are provided within the Community Collector system and the open space trail area along Highway 168. Reference the Street Sections to determine the design conditions of roadway adjacent pathways. All pathways shall be constructed in accordance with these Street Sections.

Pathways not adjacent to roadways, shall be specifically integrated within park/paseo and open space conditions as outlined in the following pages. Design treatments for these pathways will vary as defined by their purpose.





# Recreation Development Standards

SECTION RECREATION DEVELOPMENT STANDARDS

PARKS AND TRAILS PLAN

COMMUNITY DESIGN DEVELOPMENT STANDARDS

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Special and significant recreational amenities are integrated within the community's recreation center park site and the ceremonial linear park feature that hosts a number of unique, passive recreational uses. As the central components of the project, a network of neighborhood parks and paseos radiate from this synergistic focal point. Neighborhood park design programs will vary individually, reflecting the buyer's market/profile of each of the community's neighborhoods. Refer to the following pages for the park programs and design concepts proposed in these areas.

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Based on the pedestrian circulation plan discussed above, each pathway-type has been designed to coincide with its right-of-way. Unmarked bikeways are provided within the Community Collector system and the open space trail area along Highway 168. Reference the *Street Sections* to determine the design conditions of roadway adjacent pathways. All pathways shall be constructed in accordance with these *Street Sections*.

Pathways not adjacent to roadways, shall be specifically integrated within park/paseo and open space conditions as outlined in the following pages. Design treatments for these pathways will vary as defined by their purpose.



- SCHOOL/PARK PLAY FIELDS
- PARK/PASEO
- 8' WIDE PASEO
- 7' WIDE PASEO (Wider to 10' Wide at School Edge)
- 14' WIDE SIDEWALK
- 12' WIDE TRAIL
- 8' WIDE SIDEWALK
- TRAIL CROSSING
- OPEN SPACE
- GRADE-SEPARATED CROSSING\*

\*Grade-separated crossings with interchange improvements by others (Not A Part of this project).

*Scrubbers*

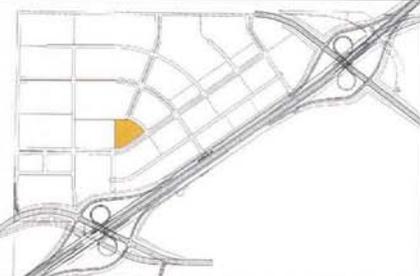
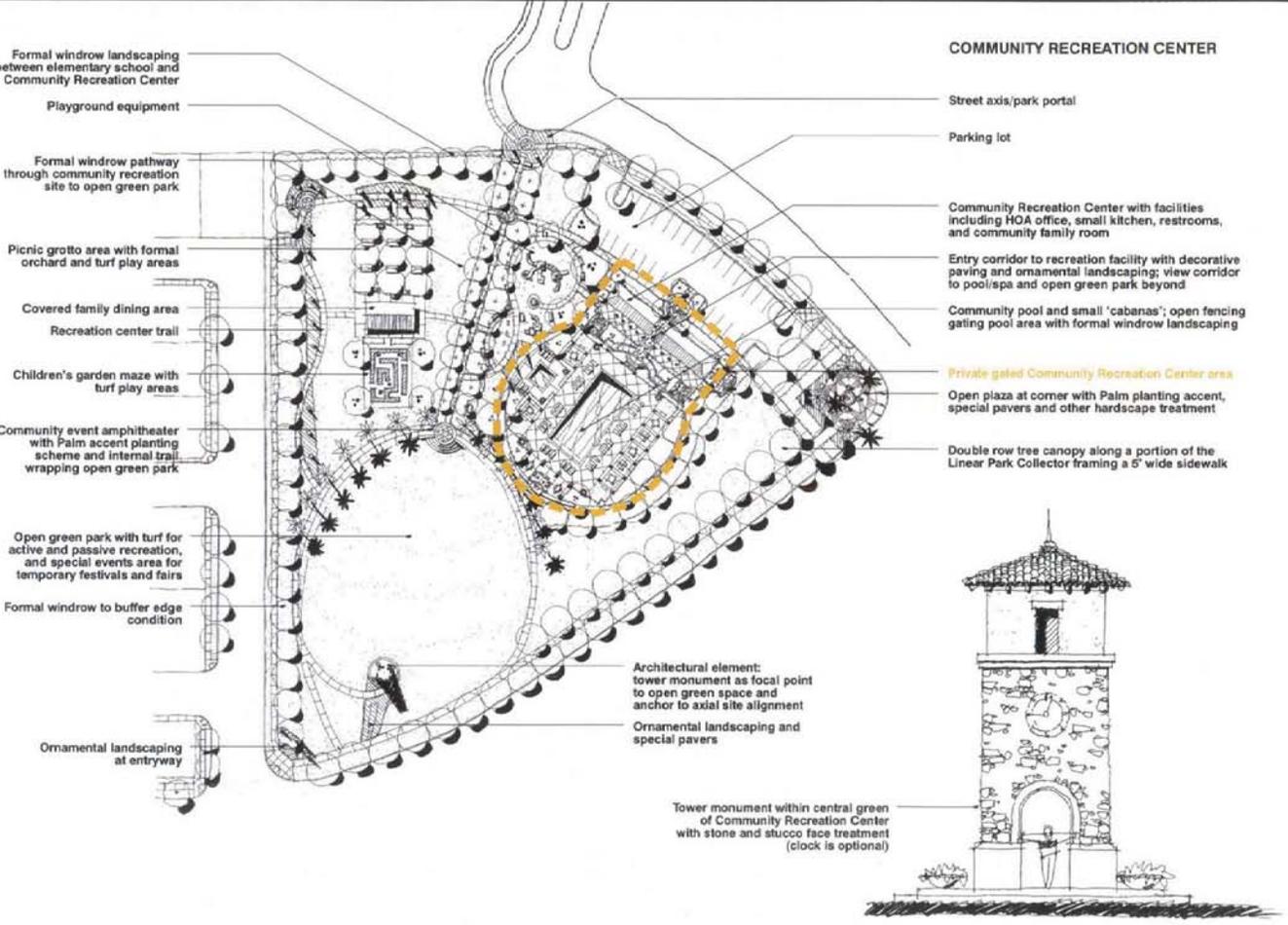
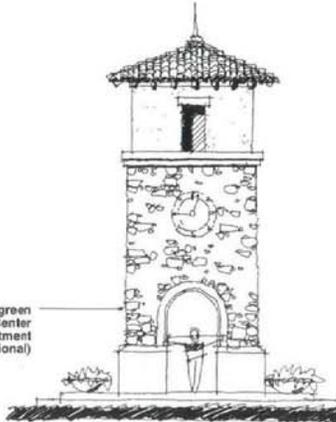


Design structure is representative of community-level pedestrian connectivity and parks program.



# Recreation Development Standards

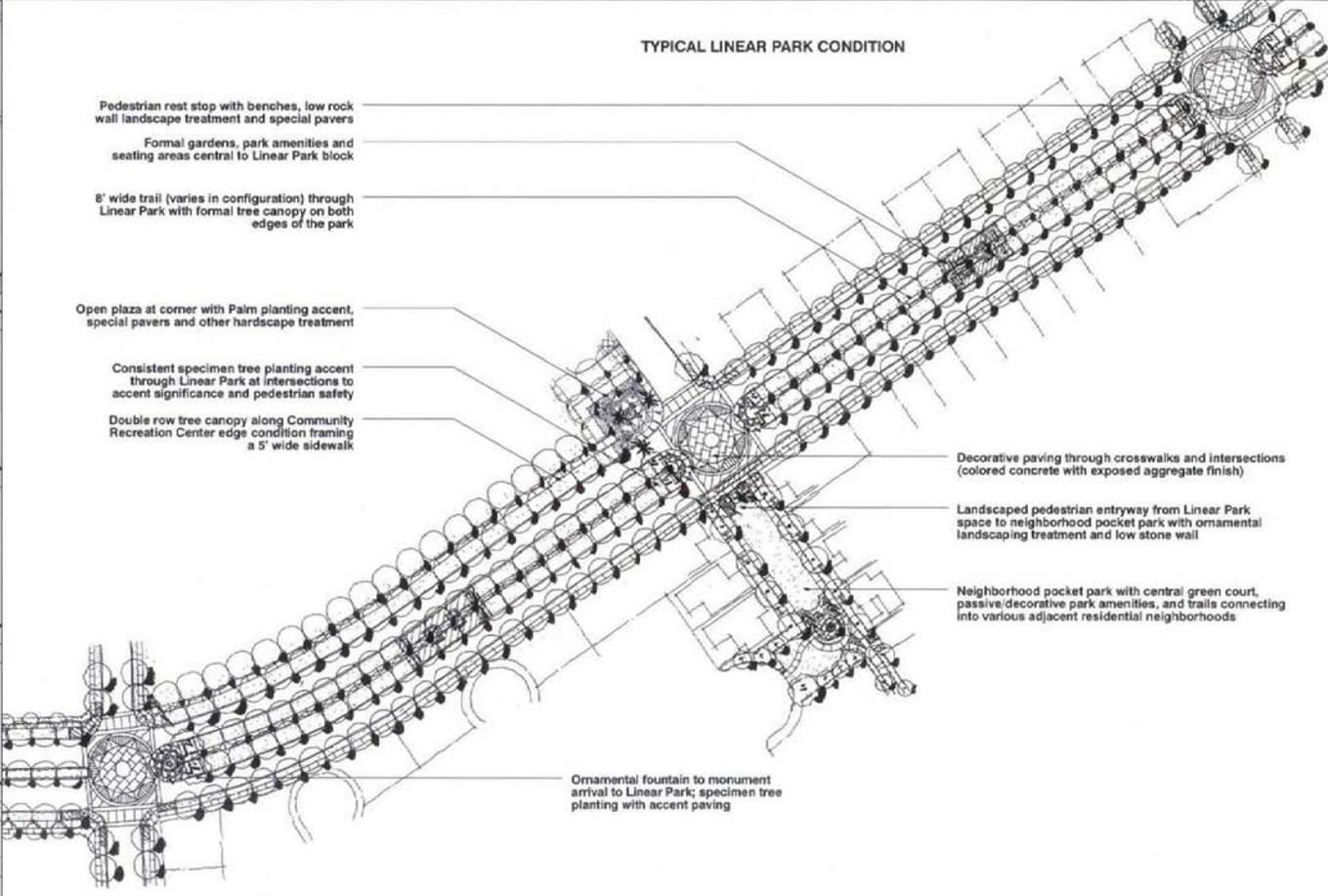
PARKS

DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SITE PLAN
	<p><b>COMMUNITY RECREATION CENTER</b></p> <p>KEY MAP</p> 		<p><b>COMMUNITY RECREATION CENTER</b></p> 
	<p><b>COMMUNITY RECREATION CENTER</b></p> <p>ARCHITECTURE AND LANDSCAPE</p> <p>4.65 acres</p> <p><b>DESCRIPTION</b></p> <p>Community Recreation Center is the central community facility providing a place for community gathering, recreation and identity. As the heart of Harlan Ranch, vertical architectural elements and style shall symbolically reflect its significance and location. A mixture of passive and active recreational amenities and uses are permitted within the community recreation center site. The community pool and clubhouse area will be gated, and available to HOA members only.</p> <p><b>PERMITTED USES</b></p> <p>*All uses not specifically identified in the list to the right are prohibited.</p> <ul style="list-style-type: none"> <li>- Community recreation building</li> <li>- Active uses such as pool/spa, basketball/volleyball courts, playground equipment, etc.</li> <li>- Passive uses such as seating areas, open field space, picnic areas, art sculpture, plazas, community gardens, outdoor BBQ/fireplace, etc.</li> <li>- Amphitheater</li> <li>- Outdoor festivals/fairs (temporary)</li> <li>- Bikeways and pedestrian trails</li> <li>- Open space</li> </ul> <p><b>ARCHITECTURE AND LANDSCAPE</b></p> <p>Architectural Style: Italianate/Mediterranean</p> <p>Form/Feature(s): Deep overhangs, broad windows/doors, large chimney, deep porches, interior courtyard, trellises, and vertical tower.</p> <p>Material(s): Walls clad with stone, brick, stucco, wood siding, or plain shingles.</p> <p>Landscape: Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windrows, formal gardens, orchard rows, random groupings, and drifts.</p> <p><b>OTHER</b></p> <p>Monumentation: Free-standing vertical tower</p> <p>Furnishing(s): Benches, trellises, outdoor BBQ, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates</p> <p>Special Lighting: Up lit to accent monumentation and landscaping; small lanterns on tower and community recreation building; bollards at paseo/trail.</p> <p>Other: Decorative paving shall be used in specific locations throughout the site. Utilities within this area shall be screened with landscaping.</p>		<p>Formal windrow landscaping between elementary school and Community Recreation Center</p> <p>Playground equipment</p> <p>Formal windrow pathway through community recreation site to open green park</p> <p>Picnic grotto area with formal orchard and turf play areas</p> <p>Covered family dining area</p> <p>Recreation center trail</p> <p>Children's garden maze with turf play areas</p> <p>Community event amphitheater with Palm accent planting scheme and internal trail wrapping open green park</p> <p>Open green park with turf for active and passive recreation, and special events area for temporary festivals and fairs</p> <p>Formal windrow to buffer edge condition</p> <p>Ornamental landscaping at entryway</p> <p>Architectural element: tower monument as focal point to open green space and anchor to axial site alignment</p> <p>Ornamental landscaping and special pavers</p> <p>Tower monument within central green of Community Recreation Center with stone and stucco face treatment (clock is optional)</p> <p>COMMUNITY RECREATION CENTER</p> <p>Street axis/park portal</p> <p>Parking lot</p> <p>Community Recreation Center with facilities including HOA office, small kitchen, restrooms, and community family room</p> <p>Entry corridor to recreation facility with decorative paving and ornamental landscaping; view corridor to pool/spa and open green park beyond</p> <p>Community pool and small 'cabanas'; open fencing gating pool area with formal windrow landscaping</p> <p>Private gated Community Recreation Center area</p> <p>Open plaza at corner with Palm planting accent, special pavers and other hardscape treatment</p> <p>Double row tree canopy along a portion of the Linear Park Collector framing a 5' wide sidewalk</p>  <p>NOT TO SCALE</p>
	<p>Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.</p>		<p>Conceptual Community Recreation Center; subject to site plan review.</p>



# Recreation Development Standards

## PARKS

DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SITE PLAN								
	<b>LINEAR PARK</b>		<b>LINEAR PARK - Amenities Vary within Park</b>								
	<b>KEY MAP</b>										
	<b>LINEAR PARK</b>	<b>LANDSCAPE</b> 40' wide Linear Park (2.81 acres) with 8' wide Trail (Varies)									
	<b>DESCRIPTION</b>	Linear Park is the ceremonial park amenity designed for passive recreational use, and as a feature to cohesively unite the neighborhoods of the community. Its design is reminiscent of older traditional neighborhoods where residential homes face onto the park and enhance the pedestrian environment. A mixture of passive recreational uses and amenities are permitted throughout the linear park.									
	<b>PERMITTED USES</b>	<ul style="list-style-type: none"> <li>*All uses not specifically identified in the list to the right are prohibited.</li> <li>- Ornamental fountains</li> <li>- Flower gardens</li> <li>- Passive uses such as seating areas, picnic areas, etc.</li> <li>- Art sculpture</li> <li>- Bikeways and pedestrian trails</li> <li>- Open space</li> </ul>									
	<b>ARCHITECTURE AND LANDSCAPE</b>	<table border="1" style="width: 100%;"> <tr> <td style="width: 30%;">Architectural Style</td> <td>None</td> </tr> <tr> <td>Landscape</td> <td>Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windrows, formal gardens, orchard rows, random groupings, and drifts.</td> </tr> </table>	Architectural Style	None	Landscape	Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windrows, formal gardens, orchard rows, random groupings, and drifts.					
Architectural Style	None										
Landscape	Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windrows, formal gardens, orchard rows, random groupings, and drifts.										
	<b>OTHER</b>	<table border="1" style="width: 100%;"> <tr> <td style="width: 30%;">Monumentation</td> <td>Varies; rest stops, shade structures, ornamental fountains, etc.</td> </tr> <tr> <td>Furnishing(s)</td> <td>Benches, trellises, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates/planters</td> </tr> <tr> <td>Special Lighting</td> <td>Up lit to accent monumentation and landscaping; bollards at paseo/trail.</td> </tr> <tr> <td>Other</td> <td>Decorative paving shall be used in specific locations throughout the site; typically at key intersections. Utilities within these areas shall be screened with landscaping.</td> </tr> </table>	Monumentation	Varies; rest stops, shade structures, ornamental fountains, etc.	Furnishing(s)	Benches, trellises, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates/planters	Special Lighting	Up lit to accent monumentation and landscaping; bollards at paseo/trail.	Other	Decorative paving shall be used in specific locations throughout the site; typically at key intersections. Utilities within these areas shall be screened with landscaping.	
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Other	Decorative paving shall be used in specific locations throughout the site; typically at key intersections. Utilities within these areas shall be screened with landscaping.										
		Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.	<div style="text-align: center;"> <p><b>TYPICAL LINEAR PARK CONDITION</b></p>  <p>Pedestrian rest stop with benches, low rock wall landscape treatment and special pavers Formal gardens, park amenities and seating areas central to Linear Park block</p> <p>8' wide trail (varies in configuration) through Linear Park with formal tree canopy on both edges of the park</p> <p>Open plaza at corner with Palm planting accent, special pavers and other hardscape treatment</p> <p>Consistent specimen tree planting accent through Linear Park at intersections to accent significance and pedestrian safety</p> <p>Double row tree canopy along Community Recreation Center edge condition framing a 5' wide sidewalk</p> <p>Decorative paving through crosswalks and intersections (colored concrete with exposed aggregate finish)</p> <p>Landscaped pedestrian entryway from Linear Park space to neighborhood pocket park with ornamental landscaping treatment and low stone wall</p> <p>Neighborhood pocket park with central green court, passive/decorative park amenities, and trails connecting into various adjacent residential neighborhoods</p> <p>Ornamental fountain to monument arrival to Linear Park; specimen tree planting with accent paving</p> </div> <p style="text-align: right; font-size: small;">NOT TO SCALE</p>								
			Park design illustrative in nature, design can be modified.								



# Recreation Development Standards

PARKS

DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SITE PLAN
	<b>NEIGHBORHOOD PARK</b>		<b>TYPICAL NEIGHBORHOOD PARKS</b>
	<b>KEY MAP</b>		
	<b>NEIGHBORHOOD PARK</b>	<b>LANDSCAPE</b> Park Area Varies	
	<b>DESCRIPTION</b>	Neighborhood Park is a small park designed to serve the recreational needs of individual neighborhoods. The size and amenities of each park vary from one neighborhood to another, but are all linked together by the community's paseo/trail network. A mixture of passive and active recreational uses and amenities are permitted in these sites.	
	<b>PERMITTED USES</b>	<ul style="list-style-type: none"> <li>- Private recreational facilities (pool/spa/weight room)</li> <li>- Ornamental fountains</li> <li>- Flower gardens</li> <li>- Active uses such as volleyball courts, playground equipment, etc.</li> <li>- Passive uses such as seating areas, picnic areas, etc.</li> <li>- Art sculpture</li> <li>- Outdoor fireplace/BBQ area</li> <li>- Pedestrian trails</li> <li>- Open space</li> </ul>	
	<b>ARCHITECTURE AND LANDSCAPE</b>		
	<b>Architectural Style</b>	Italianate/Mediterranean	
	<b>Form/Feature(s)</b>	Deep overhangs, broad windows/doors, large chimney, deep porches, interior courtyard, trellises, and vertical tower.	
	<b>Materials</b>	Walls clad with stone, brick, stucco, wood siding, or plain shingles.	
	<b>Landscaping</b>	Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windows, formal gardens, orchard rows, random groupings, and drifts.	
	<b>OTHER</b>		
	<b>Monumentation</b>	Varies: low stone wall, free-standing stone pilasters, etc.	
	<b>Furnishing(s)</b>	Benches, trellises, outdoor BBQ, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates	
	<b>Special Lighting</b>	Up lit to accent monumentation and landscaping; bollards at paseo/trail.	
	<b>Other</b>	Decorative paving shall be used in specific locations throughout the site. Utilities within these areas shall be screened with landscaping.	
		Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.	
			<p>Park designs illustrative in nature; design can be modified.</p> <p><b>TYPICAL PARK "A"</b></p> <ul style="list-style-type: none"> <li>5' wide trail linking adjacent neighborhoods to park</li> <li>Turf play area with specimen tree</li> <li>Formal row of trees</li> <li>Low stone wall framing park entry</li> <li>Outdoor BBQ area with picnic seating areas</li> <li>Hardscape plaza</li> <li>Stone pilasters framing trail approach to crosswalk with bulbout conditions at crossing point; decorative paving through crosswalk (optional)</li> <li>Low stone wall with pilasters framing trail entry into park with Cypress and shrub landscaping</li> <li>Playground equipment with benches surrounding area</li> </ul> <p><b>TYPICAL PARK "B"</b></p> <ul style="list-style-type: none"> <li>Formal row of trees</li> <li>Turf play area</li> <li>Ornamental fountains with low stone wall, special pavers and bench seating areas</li> <li>Specimen trees at park corners framing trail with ornamental shrub gardens</li> <li>OPTIONAL</li> </ul> <p><b>TYPICAL PARK "C"</b></p> <ul style="list-style-type: none"> <li>Double row of trees to frame trail conditions through park</li> <li>Turf play area</li> <li>Specimen trees at park corners with benches underneath</li> <li>Low stone wall with pilasters framing trail entry into park with Cypress and shrub landscaping</li> <li>Stone pilaster as entry monument</li> <li>Ornamental shrubs and Cypress framing park edge</li> </ul>



# Recreation Development Standards

PARKS

DETAIL RECREATION ELEMENT RECREATION LANDSCAPE STANDARDS RECREATION ELEMENT SITE PLAN

NEIGHBORHOOD PARK

KEY MAP



NEIGHBORHOOD PARK

LANDSCAPE

Park Area Varies

**DESCRIPTION**

Neighborhood Park is a small park designed to serve the recreational needs of individual neighborhoods. The size and amenities of each park vary from one neighborhood to another, but are all linked together by the community's paseo/trail network. A mixture of passive and active recreational uses and amenities are permitted in these sites.

**PERMITTED USES**

- \*All uses not specifically identified in the list to the right are prohibited.
- Private recreational facilities (pool/spa/weight room)
- Ornamental fountains
- Flower gardens
- Active uses such as volleyball courts, playground equipment, etc.
- Passive uses such as seating areas, picnic areas, etc.
- Art sculpture
- Outdoor fireplace/BBQ area
- Pedestrian trails
- Open space

**ARCHITECTURE AND LANDSCAPE**

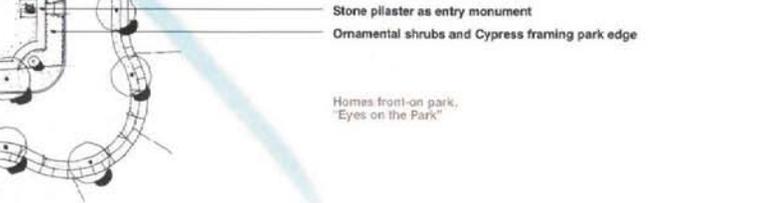
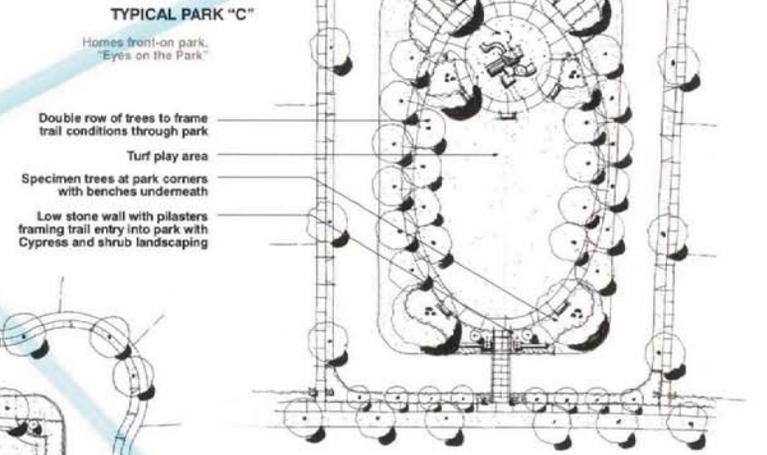
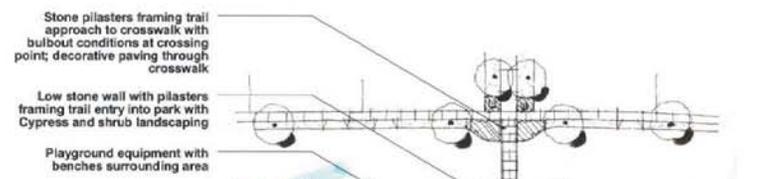
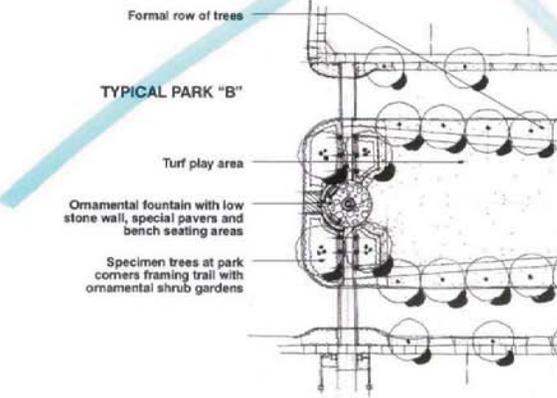
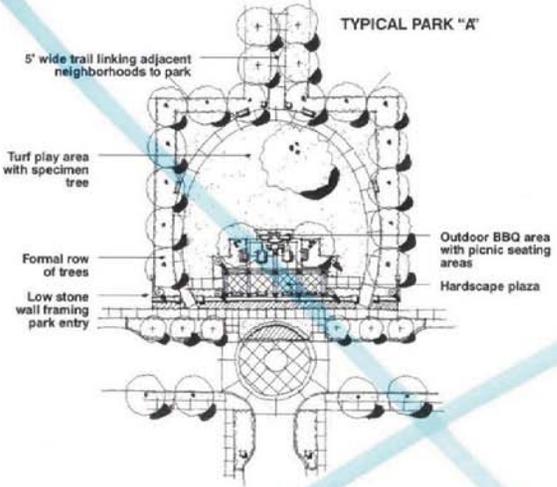
Architectural Style	Italianate/Mediterranean
Form/Feature(s)	Deep overhangs, broad windows/doors, large chimney, deep porches, interior courtyard, trellises, and vertical tower.
Material(s)	Walls clad with stone, brick, stucco, wood siding, or plain shingles.
Landscape	Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windrows, formal gardens, orchard rows, random groupings, and drifts.

**OTHER**

Monumentation	Varies; low stone wall, free-standing stone pilasters, etc.
Furnishing(s)	Benches, trellises, outdoor BBQ, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates
Special Lighting	Up lit to accent monumentation and landscaping; bollards at paseo/trail.
Other	Decorative paving shall be used in specific locations throughout the site. Utilities within these areas shall be screened with landscaping.

Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.

TYPICAL NEIGHBORHOOD PARKS



Park designs illustrative in nature; design can be modified.





# Recreation Development Standards

DETAIL

RECREATION ELEMENT RECREATION LANDSCAPE STANDARDS

RECREATION ELEMENT SITE PLAN

PARKS

**NEIGHBORHOOD PARK**

**KEY MAP**



**NEIGHBORHOOD PARK**

LANDSCAPE  
Park Area Varies

**DESCRIPTION**

Neighborhood Park is a small park designed to serve the recreational needs of individual neighborhoods. The size and amenities of each park vary from one neighborhood to another, but are all linked together by the community's paseo/trail network. A mixture of passive and active recreational uses and amenities are permitted in these sites.

**PERMITTED USES**

All uses not specifically identified in the list to the right are prohibited.

- Private recreational facilities (pool/spa/weight room)
- Ornamental fountains
- Flower gardens
- Active uses such as volleyball courts, playground equipment, etc.
- Passive uses such as seating areas, picnic areas, etc.
- Art sculpture
- Outdoor fireplace/BBQ area
- Pedestrian trails
- Open space

**ARCHITECTURE AND LANDSCAPE**

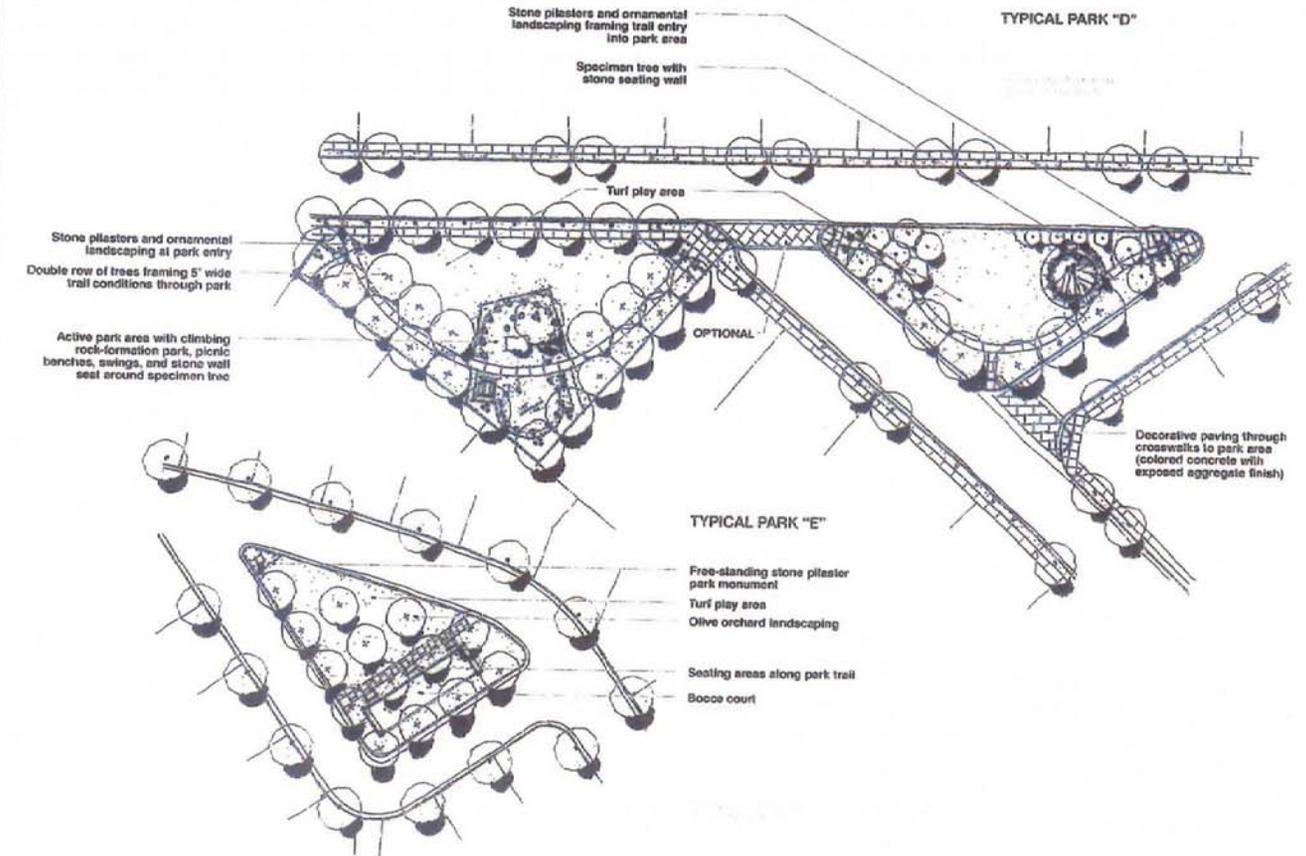
Architectural Style	Italianate/Mediterranean
Form/Feature(s)	Deep overhangs, broad windows/doors, large chimneys, deep porches, interior courtyard, trellises, and vertical tower.
Material(s)	Walls clad with stone, brick, stucco, wood siding, or plain shingles.
Landscape	Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windows, formal gardens, orchard rows, random groupings, and drifts.

**OTHER**

Monumentation	Varies; low stone wall, free-standing stone pilasters, etc.
Furnishing(s)	Benches, trellises, outdoor BBQ, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates
Special Lighting	Up lit to accent monumentation and landscaping; bollards at paseo/trail.
Other	Decorative paving shall be used in specific locations throughout the site. Utilities within these areas shall be screened with landscaping.

Refer to Landscape Palette for a complete list of plant materials and applications of the end of this Section.

**TYPICAL NEIGHBORHOOD PARKS**

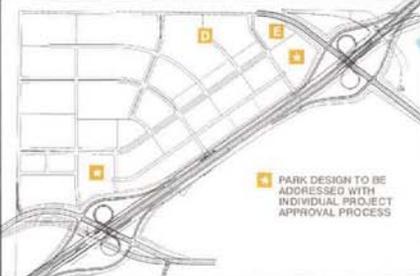


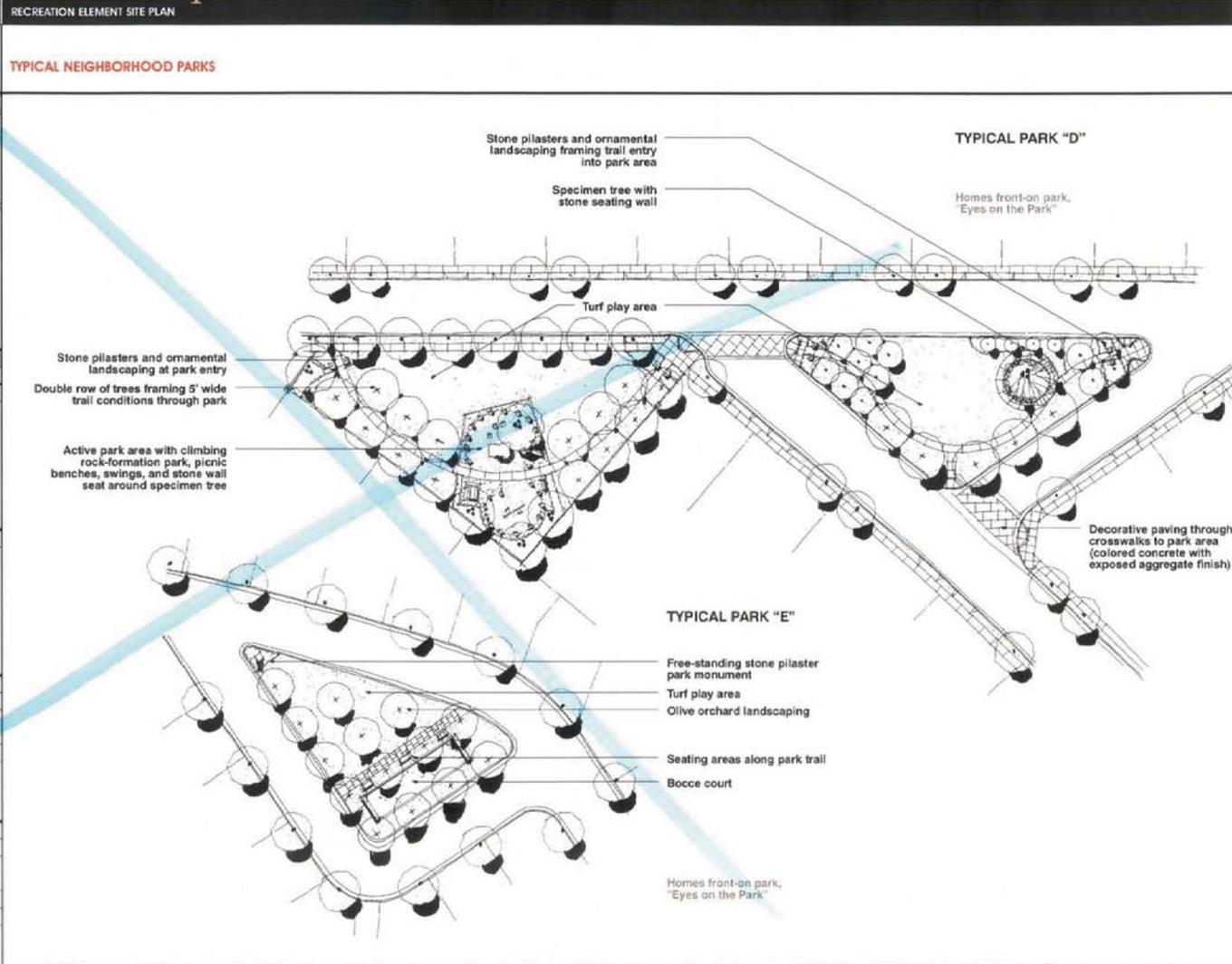
Park designs illustrative in nature; design can be modified.



# Recreation Development Standards

## PARKS

DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SITE PLAN
	NEIGHBORHOOD PARK		TYPICAL NEIGHBORHOOD PARKS
	KEY MAP		
	NEIGHBORHOOD PARK	LANDSCAPE Park Area Varies	
	DESCRIPTION	Neighborhood Park is a small park designed to serve the recreational needs of individual neighborhoods. The size and amenities of each park vary from one neighborhood to another, but are all linked together by the community's paseo/trail network. A mixture of passive and active recreational uses and amenities are permitted in these sites.	
	PERMITTED USES	<ul style="list-style-type: none"> <li>- Private recreational facilities (pool/spa/weight room)</li> <li>- Ornamental fountains</li> <li>- Flower gardens</li> <li>- Active uses such as volleyball courts, playground equipment, etc.</li> <li>- Passive uses such as seating areas, picnic areas, etc.</li> <li>- Art sculpture</li> <li>- Outdoor fireplace/BBQ area</li> <li>- Pedestrian trails</li> <li>- Open space</li> </ul>	
	ARCHITECTURE AND LANDSCAPE	<p><b>Architectural Style</b> Italianate/Mediterranean</p> <p><b>Form/Feature(s)</b> Deep overhangs, broad windows/doors, large chimney, deep porches, interior courtyard, trellises, and vertical tower.</p> <p><b>Material(s)</b> Walls clad with stone, brick, stucco, wood siding, or plain shingles.</p> <p><b>Landscape</b> Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windows, formal gardens, orchard rows, random groupings, and drifts.</p>	
	OTHER	<p><b>Monumentation</b> Varies; low stone wall, free-standing stone pilasters, etc.</p> <p><b>Furnishing(s)</b> Benches, trellises, outdoor BBQ, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates</p> <p><b>Special Lighting</b> Up lit to accent monumentation and landscaping; bollards at paseo/trail.</p> <p><b>Other</b> Decorative paving shall be used in specific locations throughout the site. Utilities within these areas shall be screened with landscaping.</p>	



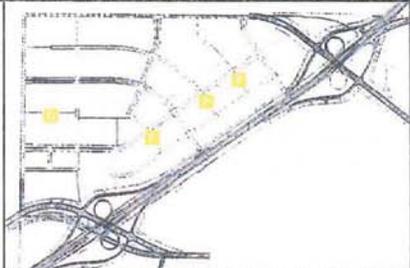
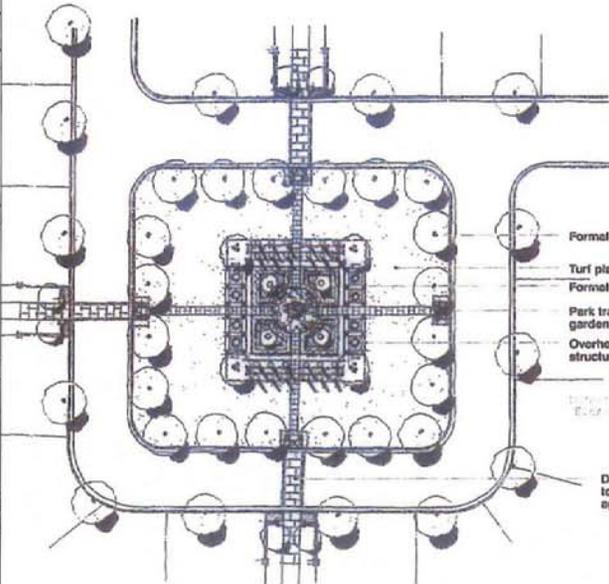
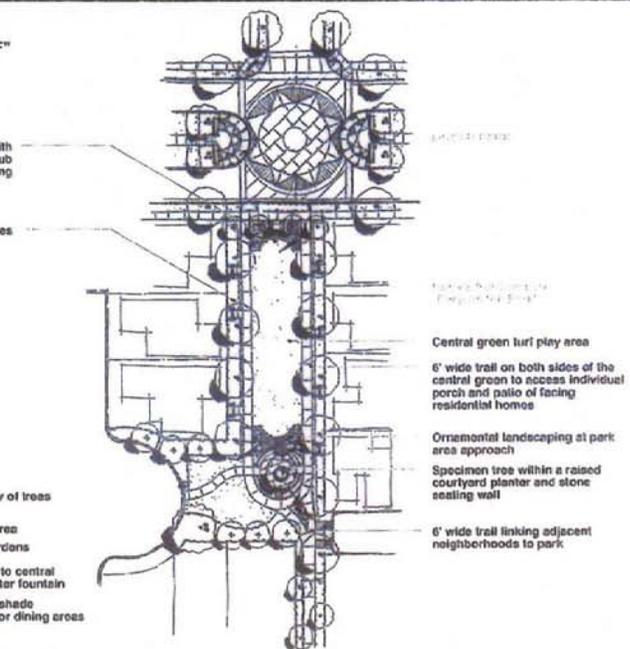
Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.

Park designs illustrative in nature; design can be modified.

NOT TO SCALE

# Recreation Development Standards

PARKS

DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SITE PLAN
	<b>NEIGHBORHOOD PARK</b>		<b>TYPICAL NEIGHBORHOOD PARKS</b>
	<b>KEY MAP</b>		
	<b>NEIGHBORHOOD PARK</b>	<b>LANDSCAPE</b> Park Area Varies	
	<b>DESCRIPTION</b>	Neighborhood Park is a small park designed to serve the recreational needs of individual neighborhoods. The size and amenities of each park vary from one neighborhood to another, but are all linked together by the community's paseo/trail network. A mixture of passive and active recreational uses and amenities are permitted in these sites.	
	<b>PERMITTED USES</b>	<ul style="list-style-type: none"> <li>- Private recreational facilities (pool/spa/weight room)</li> <li>- Ornamental fountains</li> <li>- Flower gardens</li> <li>- Active uses such as volleyball courts, playground equipment, etc.</li> <li>- Passive uses such as seating areas, picnic areas, etc.</li> <li>- Art sculpture</li> <li>- Outdoor fireplace/BBQ area</li> <li>- Pedestrian trails</li> <li>- Open space</li> </ul>	
	<b>ARCHITECTURE AND LANDSCAPE</b>	<p><b>Architectural Style</b> Italianate/Mediterranean</p> <p><b>Form/Feature(s)</b> Deep overhangs, broad windows/doors, large chimney, deep porches, interior courtyard, trellises, and vertical tower.</p> <p><b>Material(s)</b> Walls clad with stone, brick, stucco, wood siding, or plain shingles.</p> <p><b>Landscape</b> Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windrows, formal gardens, orchard rows, random groupings, and drifts.</p>	
	<b>OTHER</b>	<p><b>Monumentation</b> Varies; low stone wall, free-standing stone pilasters, etc.</p> <p><b>Furnishing(s)</b> Benches, trellises, outdoor BBQ, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates</p> <p><b>Special Lighting</b> Up lit to accent monumentation and landscaping; bollards at paseo/trail.</p> <p><b>Other</b> Decorative paving shall be used in specific locations throughout the site. Utilities within these areas shall be screened with landscaping.</p>	
		Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><b>TYPICAL PARK "G"</b></p>  <p>Formal row of trees</p> <p>Turf play area</p> <p>Formal gardens</p> <p>Park trails to central garden water fountain</p> <p>Overhead shade structure for dining areas</p> <p>Decorative paving through crosswalks to park area (colored concrete with exposed aggregate finish) - OPTIONAL</p> </div> <div style="width: 45%;"> <p><b>TYPICAL PARK "F"</b></p>  <p>Park monument with ornamental tree and shrub landscaping</p> <p>Formal row of trees</p> <p>Central green turf play area</p> <p>6' wide trail on both sides of the central green to access individual porch and patio of facing residential homes</p> <p>Ornamental landscaping at park area approach</p> <p>Specimen trees within a raised courtyard planter and stone seating wall</p> <p>6' wide trail linking adjacent neighborhoods to park</p> </div> </div>
			<p>Scale: 1" = 10' (1:120)</p>



# Recreation Development Standards

PARKS

DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SITE PLAN
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NEIGHBORHOOD PARK

TYPICAL NEIGHBORHOOD PARKS

KEY MAP



**P** PARK DESIGN TO BE ADDRESSED WITH INDIVIDUAL PROJECT APPROVAL PROCESS

NEIGHBORHOOD PARK	LANDSCAPE
	Park Area Varies

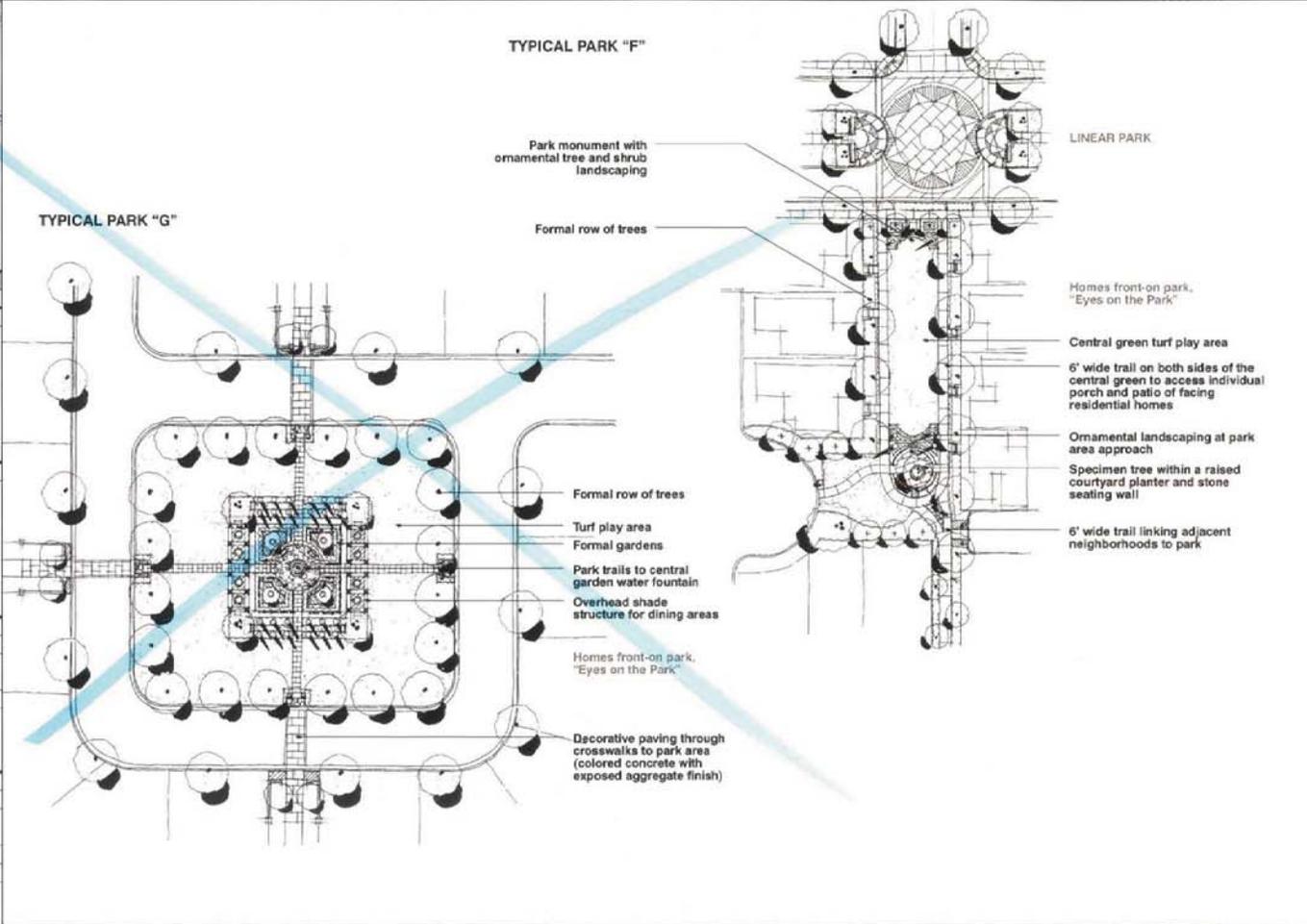
**DESCRIPTION**  
 Neighborhood Park is a small park designed to serve the recreational needs of individual neighborhoods. The size and amenities of each park vary from one neighborhood to another, but are all linked together by the community's paseo/trail network. A mixture of passive and active recreational uses and amenities are permitted in these sites.

PERMITTED USES
<p>*All uses not specifically identified in the list to the right are prohibited.</p> <ul style="list-style-type: none"> <li>- Private recreational facilities (pool/spa/weight room)</li> <li>- Ornamental fountains</li> <li>- Flower gardens</li> <li>- Active uses such as volleyball courts, playground equipment, etc.</li> <li>- Passive uses such as seating areas, picnic areas, etc.</li> <li>- Art sculpture</li> <li>- Outdoor fireplace/BBQ area</li> <li>- Pedestrian trails</li> <li>- Open space</li> </ul>

ARCHITECTURE AND LANDSCAPE	
Architectural Style	Italianate/Mediterranean
Form/Feature(s)	Deep overhangs, broad windows/doors, large chimney, deep porches, interior courtyard, trellises, and vertical tower.
Material(s)	Walls clad with stone, brick, stucco, wood siding, or plain shingles.
Landscape	Landscaping conditions will vary throughout the site to accommodate a variety of environments at different scales. Different plant materials and planting patterns will be used, including but not limited to, formal windrows, formal gardens, orchard rows, random groupings, and drifts.

OTHER	
Monumentation	Varies; low stone wall, free-standing stone pilasters, etc.
Furnishing(s)	Benches, trellises, outdoor BBQ, trash receptacles, drinking fountains, ornamental fountains, public art, tree grates
Special Lighting	Up lit to accent monumentation and landscaping; bollards at paseo/trail.
Other	Decorative paving shall be used in specific locations throughout the site. Utilities within these areas shall be screened with landscaping.

Refer to Landscape Palette for a complete list of plant materials and applications at the end of this section.

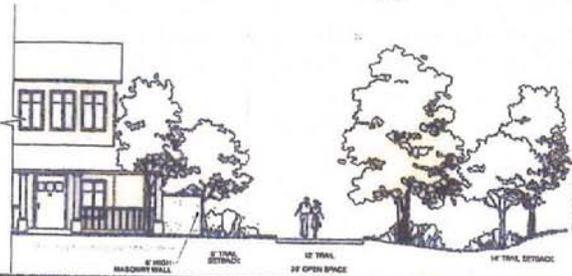
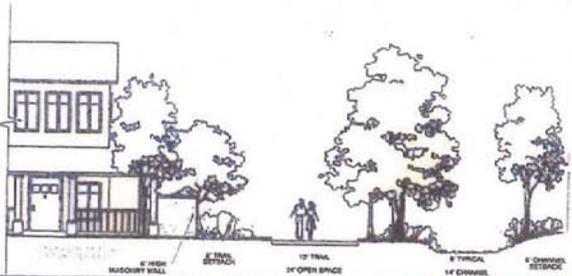


Park designs illustrative in nature; design can be modified.

NOT TO SCALE



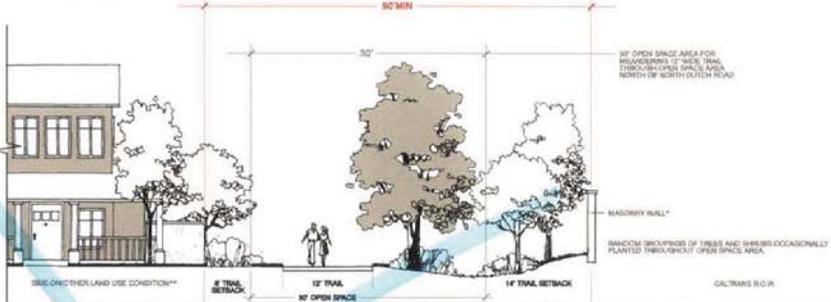
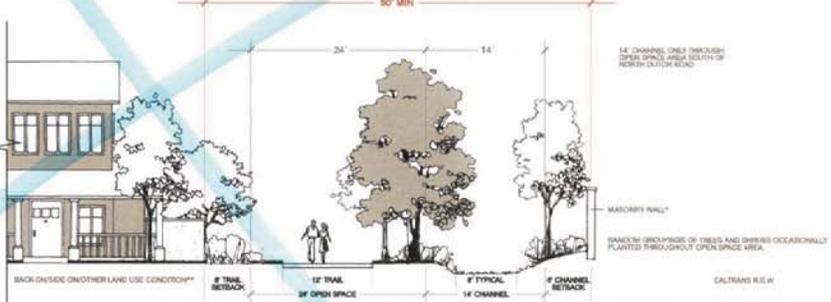
# Recreation Development Standards

DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SECTION
<b>TRAILS</b>	<b>OPEN SPACE/TRAIL</b>		<b>HIGHWAY 168 OPEN SPACE TRAIL</b>
	<b>KEY MAP</b>		<p>North of North Dulch Road 50' min with 12' wide trail</p> 
	<b>OPEN SPACE/TRAIL</b>	<b>LANDSCAPE</b> 50' min wide Open Space with 12' wide Trail	
	<b>DESCRIPTION</b>	<p>The Open Space/Trail area along Highway 168 provides regional connectivity and acts like a green buffer between the residential uses and the highway corridor. It is designed for passive recreational use and is an alternative for east-west pedestrian movement through the region.</p>	<p>South of North Dulch Road 50' min with 12' wide trail</p> 
<b>PERMITTED USES</b>	<p>All uses not specifically identified in the list to the right are prohibited.</p> <ul style="list-style-type: none"> <li>- Passive recreational uses such as seating areas</li> <li>- Infrastructure/Access roads</li> <li>- Natural drainage channels</li> <li>- Bikeways and pedestrian trails</li> <li>- Open space</li> </ul>		
<b>LANDSCAPE</b>	<p>Condition(s)</p> <p>Landscaping conditions will generally be informal and open throughout this corridor to create a natural open space environment. Different plant materials will be used in occasional random groupings, clusters and drifts. The drainage channel shall be constructed of natural materials and landscaping to naturally integrate into this open space corridor with a rustic character.</p>		
<b>OTHER</b>	<p>Grade Crossings</p> <p>When interchanges Nees and Shepherd Avenues are determined and designed, strong consideration should be given to provide grade-separated crossings at these locations (Not A Part of this project).</p> <p>Other</p> <p>Utilities within this area shall be screened with landscaping.</p>		
	Refer to Landscape Palette for a complete list of plant materials and applications of the end of this Section.		<p>*Height of sound wall adjacent to Highway 168 to be determined by Noise Study. Noise study allows for wall placement along back of lots or 168 right of way in addition, 6' berm or 6' berm wall combination can be used in lieu of 6' masonry wall.</p> <p>**Land use conditions along this open space/trail area vary.</p> <p>Open Space/Trail illustrations conceptual in nature.</p>



# Recreation Development Standards

TRAILS

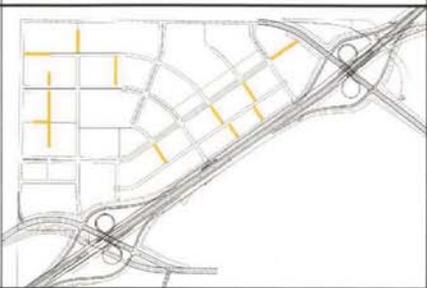
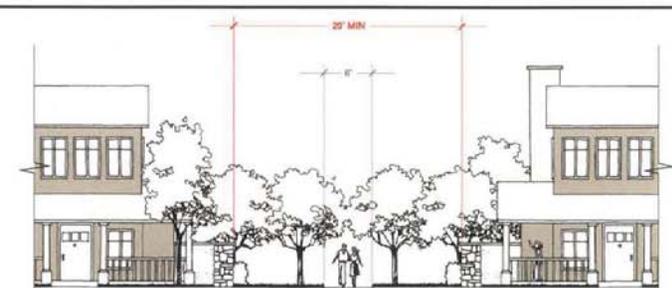
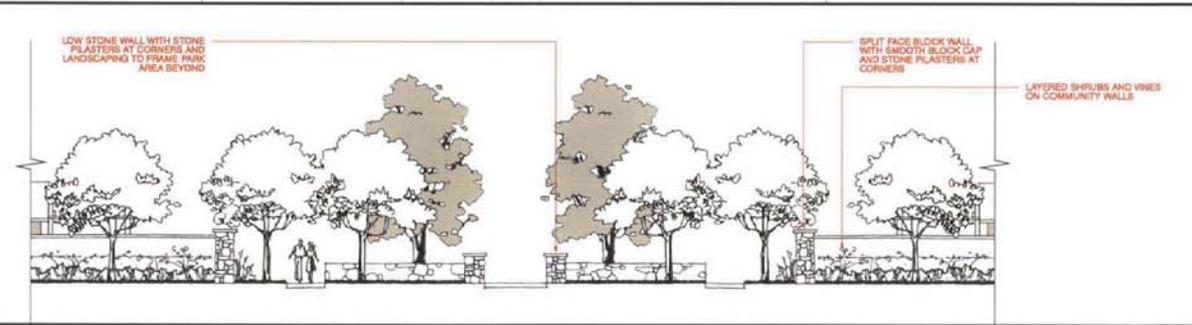
DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SECTION
	OPEN SPACE/TRAIL		HIGHWAY 168 OPEN SPACE TRAIL
	KEY MAP		North of North Dutch Road 50' min with 12' wide Trail
	OPEN SPACE/TRAIL	LANDSCAPE 50' min wide Open Space with 12' wide Trail	
	DESCRIPTION	The Open Space/Trail area along Highway 168 provides regional connectivity and acts like a green buffer between the residential uses and the highway corridor. It is designed for passive recreational use and is an alternative for east-west pedestrian movement through the region.	South of North Dutch Road 50' min with 12' wide Trail
	PERMITTED USES	*All uses not specifically identified in the list to the right are prohibited. - Passive recreational uses such as seating areas - Infrastructure/Access roads - Natural drainage channels - Bikeways and pedestrian trails - Open space	
	LANDSCAPE	Condition(s) Landscaping conditions will generally be informal and open throughout this corridor to create a natural open space environment. Different plant materials will be used in occasional random groupings, clusters and drifts. The drainage channel shall be constructed of natural materials and landscaping to naturally integrate into this open space corridor with a rustic character.	
	OTHER	Grade Crossings When interchanges Nees and Shepherd Avenues are determined and designed, strong consideration should be given to provide grade-separated crossings at these locations (Not A Part of this project).	
		Other Utilities within this area shall be screened with landscaping.	
		Refer to Landscape Palette for a complete list of plant materials and applications at the end of this Section.	*Height of sound wall adjacent to Highway 168 to be determined by Noise Study. **Land use conditions along this open space/trail area vary. Open Space/Trail illustrations conceptual in nature.





# Recreation Development Standards

## TRAILS

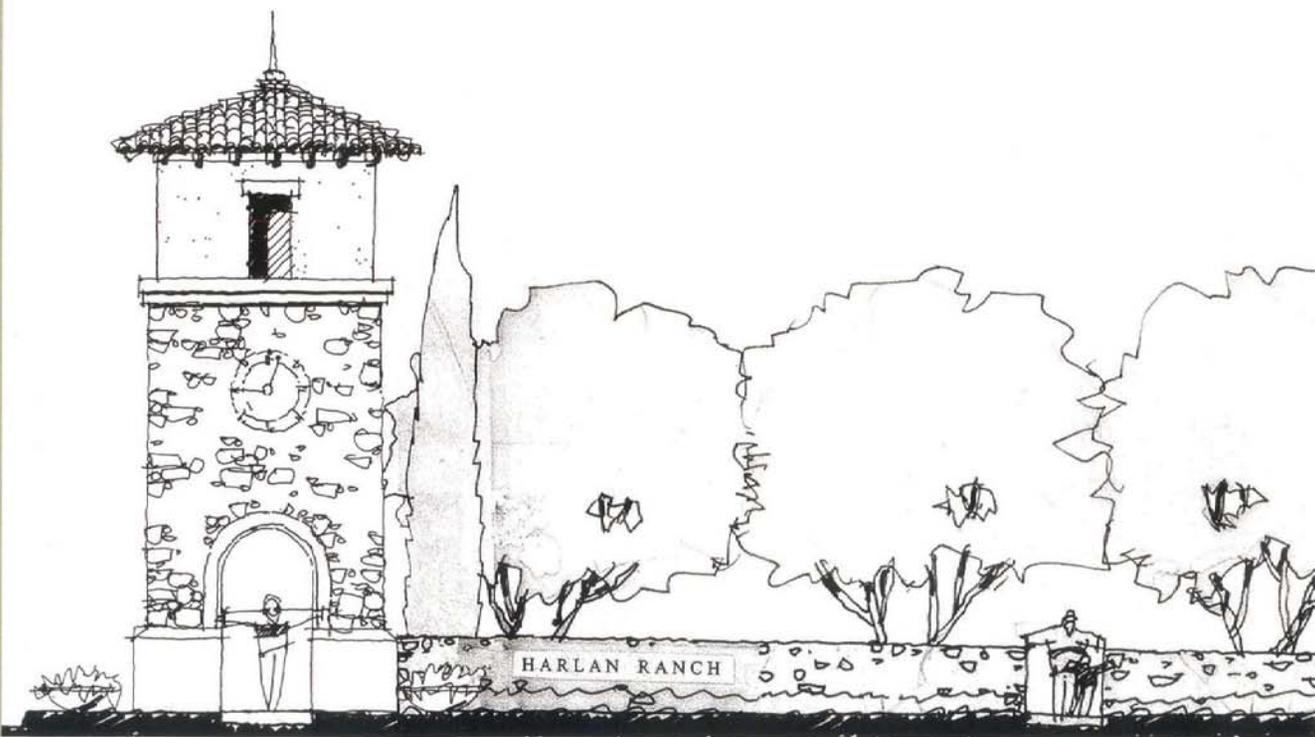
DETAIL	RECREATION ELEMENT	RECREATION LANDSCAPE STANDARDS	RECREATION ELEMENT SECTION
	<p>PASEO/TRAIL</p>		<p>TYPICAL PASEO - Varies with Land Use Conditions</p>
<p>KEY MAP</p>			<p>Paseo between Residential Product 20' min with 6' wide Trail</p> 
<p>PASEO/TRAIL</p>		<p>LANDSCAPE 20' min wide Paseo with 6' wide Trail</p>	
<p>DESCRIPTION</p>	<p>The Paseo/Trail area between residential product is designed to provide more direct linkage to community amenities and neighborhood-to-neighborhood connectivity. This space is designed for short distances, and shall be well landscaped. Their intersection with the street shall be enhanced further with a traffic-calming bulbout, to caution on-coming vehicles of pedestrian presence.</p>		<p>Park/Paseo along Street</p> 
<p>PERMITTED USES</p>	<p>*All uses not specifically identified in the list to the right are prohibited.</p> <ul style="list-style-type: none"> <li>- Passive recreational uses such as seating areas</li> <li>- Infrastructure</li> <li>- Bikeways and pedestrian trails</li> <li>- Open space</li> </ul>		
<p>LANDSCAPE</p>	<p>Condition(s)</p>	<p>Landscaping conditions through these corridors shall be consistent with the respect to the plant materials and planting patterns characteristic of each neighborhood. Planting patterns such as formal windrows, orchard rows, random groupings, and drifts will be used in these areas.</p>	
<p>OTHER</p>	<p>Special Lighting</p>	<p>Bollards at paseo/park/trail.</p>	
<p>OTHER</p>		<p>Utilities within this area shall be screened with landscaping.</p>	<p>*Land use conditions along these paseo/trail areas vary. Paseo illustrations conceptual in nature.</p>

NOT TO SCALE



Harlan Ranch  
A CLOVIS COMMUNITY

# LAND USE DEVELOPMENT STANDARDS





# Harlan Ranch Development Plan

SECTION DEVELOPMENT PLAN

HARLAN RANCH PROPOSED DEVELOPMENT PLAN

LAND USE DEVELOPMENT STANDARDS

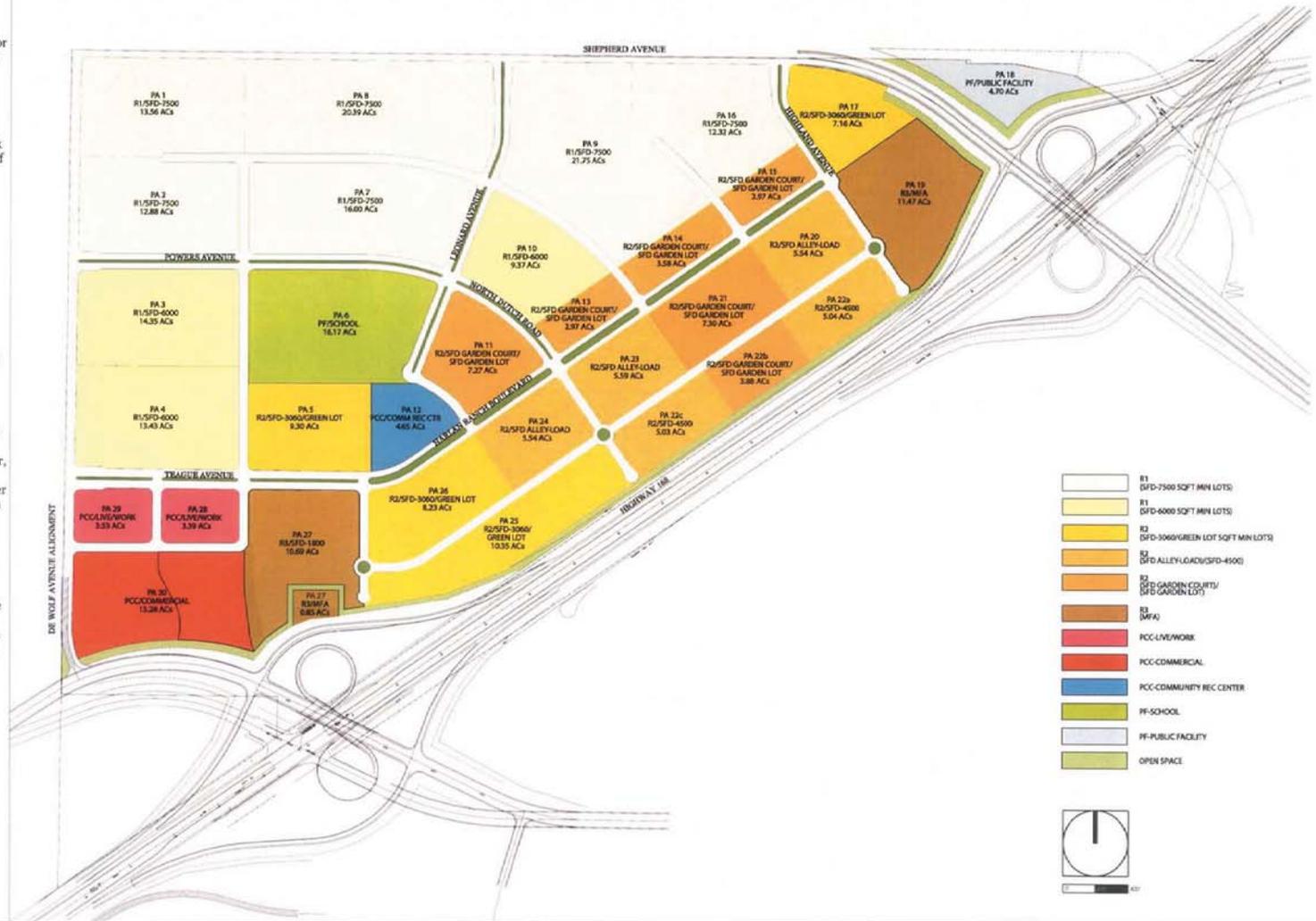
### PURPOSE AND COMPLIANCE

The purpose of this Section is to set regulatory requirements for the development of various land uses within the Harlan Ranch community. These standards address the information and requirements pertaining specifically to the zoning, density, setbacks, garages, streets/parking, signs, and accessory uses related to the subject land use. All development shall comply with the text, standards and associated tables and exhibits illustrated in this Section. Where this Development Handbook remains silent, the provisions and definitions within the City of Clovis Municipal Code shall apply. Where a conflict exists between these development standards and the City of Clovis Municipal Code, the standards contained herein shall apply.

This Section is organized into development standards for residential and non-residential uses. Within each of these subsections are detailed development standards, site plan prototypes and architectural imagery that communicate the requirements and concepts for each land use designation.

### DEVELOPMENT PLAN / ZONING

The Harlan Ranch Development Plan presents a more detailed picture of the specific product types and type of land uses proposed within each individual planning area. The development standards respective to each zone designation provide a necessary assurance that the community of Harlan Ranch will be developed in accordance with the certain quality and character set forth in this handbook. It is the intent to build-out the Development Plan as shown to the right, however, given indefinite market stability and foresight, residential planning areas shall have the flexibility to be developed as other residential product types within the same zone designation. In the event that these conditions arise, development of each planning area shall strictly comply with the requirements and standards set forth in this handbook, as specified in the same zone designation of that said land use/product type, provided that the maximum dwelling units of those subject planning areas is not exceeded. Such minor modification does not change the basic intent of the Master Development Plan, as the intensity and type of use is still consistent with that proposed. The Planning and Development Services Director shall process and make an administrative decision regarding such proposed minor modification.

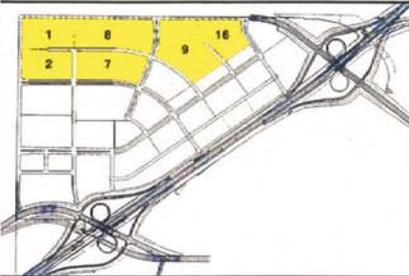
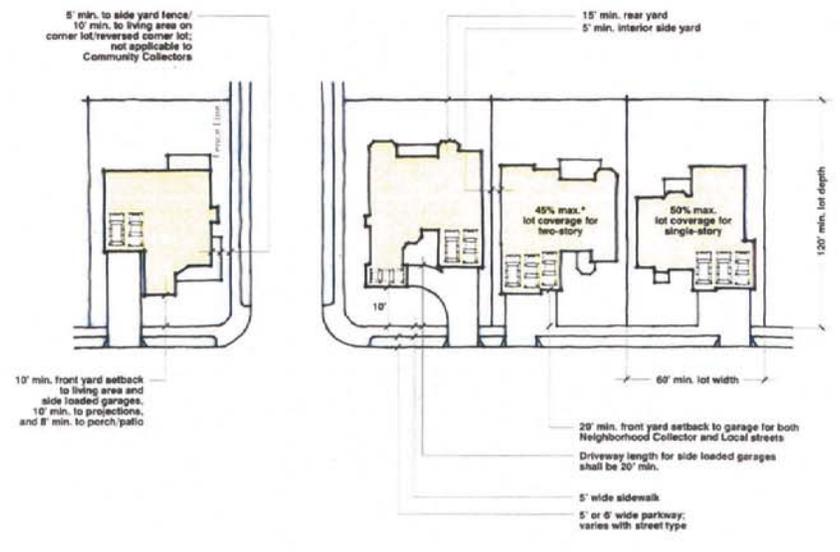






# Residential Land Use Development Standards

LOW DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
KEY MAP		<b>SFD-7500</b>	<b>STANDARD</b>	<b>NOTES</b>
				<b>ARCHITECTURE</b>
		<p><b>DESIGNATION</b></p> <p>Planning Area(s) 1, 2, 7, 8, 9, 16</p> <p>Zone District R1-7500</p> <p>GP Density Range 2.1 - 4.0 du/ac</p> <p>Dwelling Units 342 max</p> <p>Land Use The use of land designated SFD-7500 shall comply with those uses listed under Permitted Uses (see bottom-left).</p>		
		<p><b>BUILDING INTENSITY</b></p> <p>Minimum Lot Area 7,500 sqft</p> <p>Minimum Lot Width 60'</p> <p>Minimum Lot Depth 120'</p> <p>Maximum Coverage 45%/50%</p> <p>Maximum Height 35'</p> <p>Curved/Cul-de-sac/Corner Lot 40' min/100' min*</p>	<p>*No lot shall have a maximum lot width to depth ratio of four to one.</p> <p>Two-story (*convertible plan N/A)/Single-story; includes all buildings, accessory and structures.</p> <p>For street frontage/For lot depth on one side of lot; lot to provide adequate building envelope)</p>	
	<p>SFD-7500</p> <p>LAND USE TOTAL AREA 96.90 acres</p>			
	<p><b>DESCRIPTION</b></p> <p>SFD-7500 is a neighborhood of standard single family detached lots, designed to provide more traditional-sized lots with a larger home product. These neighborhoods are served by neighborhood parks and community trails that access the greater community amenities.</p>	<p><b>BUILDING SETBACKS</b></p> <p>Front Yard (Collector or Local) 20' min*/10' min</p> <p>Side Yard (Interior) 10' min/8' min</p> <p>Corner Lot/Reversed Corner Lot 5' min/10' min</p> <p>Rear Yard 15' min</p>	<p>All setbacks measured from PL.</p> <p>To garage/To living area and side loaded garages</p> <p>*To garage measured from street, not corner cut off, for lots located at entry or roundabout.</p> <p>To side yard fence/To living area; not applicable to Community Collectors.</p>	
	<p><b>PERMITTED USES</b></p> <p>*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.</p> <ul style="list-style-type: none"> <li>- Single Family dwellings of a permanent nature and accessory uses with not more than 1 du/lot</li> <li>- All uses permitted under an R1 zone</li> <li>- Private recreational facilities (for sole use of residents of the immediate neighborhood)</li> <li>- Neighborhood and pocket parks</li> <li>- Bikeways and pedestrian trails</li> <li>- Temporary sales offices and model homes</li> <li>- Home occupations</li> <li>- Open space</li> </ul>	<p><b>GARAGES/STREETS/PARKING</b></p> <p>Sidewalks 5' wide</p> <p>Garages 2-car 20'x20' min</p> <p>3-car 28'x22' min or 20'x22' min w/tandem 10'x18' min; swing-in garage 10'x20' min.</p> <p>Streets 36' or 40' wide</p> <p>On-Street Parking 1 space/home min</p>	<p>Sidewalks between parkway/PL; along side yards between parkway/landscape easement.</p> <p>*Garages may be less than 22' deep, but not less than 20' deep, when there is offsetting (additional) permanent storage space in the garage of equal or greater square footage, when laundry facilities are located within the interior of the home.</p> <p>Curb-to-curb; reference Street Sections.</p> <p>Parking allowed on both sides of the street.</p>	
		<p><b>ACCESSORY USES</b></p> <p>Walls/Fences 6'-8' high max</p> <p>Trellises 12' high max</p> <p>Pools and Spas 5' min</p> <p>Equipment Pool, spa and fountain equipment allowed in side yard easement.</p> <p>Covered Structures 12' high max</p> <p>Accessory Buildings</p>	<p>General list of requirements and restrictions.</p> <p>Water portion to rear and side PLs. Pool and spa may not be located in front yard.</p> <p>Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.</p>	
		<p>Master Development Plan supersedes Sections 9.3.207.1 - 9.3.207.5 with the exception of Section 9.3.207.5 - H, J and K. Refer to General Design Standards and Guidelines for additional requirements at the end of the Section. Convertible plans allow for second-story option to be built without a change in the roofline. A single-story convertible plan built as a two-story can exceed the 45% maximum coverage.</p>		 <p>5' min. to side yard fence/10' min. to living area on corner lot/reversed corner lot; not applicable to Community Collectors</p> <p>15' min. rear yard 5' min. interior side yard</p> <p>45% max. lot coverage for two-story</p> <p>50% max. lot coverage for single-story</p> <p>120' min. lot depth</p> <p>10' min. front yard setback to living area and side loaded garages. 10' min. to projections, and 8' min. to porch/patio</p> <p>20' min. front yard setback to garage for both Neighborhood Collector and Local streets</p> <p>Driveway length for side loaded garages shall be 20' min.</p> <p>5' wide sidewalk</p> <p>5' or 6' wide parkway; varies with street type</p>



# Residential Land Use Development Standards

LOW DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
	KEY MAP	SFD-7500	STANDARD NOTES	ARCHITECTURE
		<b>DESIGNATION</b> Planning Area(s) 1, 2, 7, 8, 9, 16 Zone District R1-7500 GP Density Range 2.1 - 4.0 du/ac Dwelling Units 342 max Land Use The use of land designated SFD-7500 shall comply with those uses listed under Permitted Uses (see bottom-left).	<b>BUILDING INTENSITY</b> Minimum Lot Area 7,500 sqft Minimum Lot Width 60' Minimum Lot Depth 120' Maximum Coverage 45% / 50% Maximum Height 35' Curved/Cul-de-sac/Corner Lot 40' min / 100' min	
	SFD-7500 LAND USE TOTAL AREA 96.90 acres	<b>BUILDING SETBACKS</b> Front Yard (Collector or Local) 20' min / 12' min Side Yard (Interior) 5' min Corner Lot/Reversed Corner Lot 5' min / 10' min Rear Yard 15' min	*No lot shall have a maximum lot width to depth ratio of four to one. Two-story (*convertible plan N(A)/Single-story; includes all buildings, accessory and structures). For street frontage/For lot depth on one side of lot; lot to provide adequate building envelope) All setbacks measured from PL. To garage/To living area and side loaded garages *To garage measured from street, not corner cut off, for lots located at entry or roundabout. To projections/To porch or patio To side yard fence/To living area; not applicable to Community Collectors.	
	<b>DESCRIPTION</b> SFD-7500 is a neighborhood of standard single family detached lots, designed to provide more traditional-sized lots with a larger home product. These neighborhoods are served by neighborhood parks and community trails that access the greater community amenities.	<b>GARAGES/STREETS/PARKING</b> Sidewalks 5' wide Garages 2-car 20'x22' min 3-car 30'x22' min or 20'x22' min w/tandem 10'x18' min; swing-in garage 10'x20' min. Streets 36' or 40' wide On-Street Parking 1 space/home min	*Garages may be less than 22' deep, but not less than 20' deep, when there is offsetting (additional) permanent storage space in the garage of equal or greater square footage, when laundry facilities are located within the interior of the home. Curb-to-curb; reference Street Sections. Parking allowed on both sides of the street.	
	<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles. - Single Family dwellings of a permanent nature and accessory uses with not more than 1 du/lot - All uses permitted under an R1 zone - Private recreational facilities (for sole use of residents of the immediate neighborhood) - Neighborhood and pocket parks - Bikeways and pedestrian trails - Temporary sales offices and model homes - Home occupations - Open space	<b>ACCESSORY USES</b> Walls/Fences 6'-8' high max Trellises 12' high max Pools and Spas 5' min Equipment Pool, spa and fountain equipment allowed in side yard easement. Covered Structures 12' high max Accessory Buildings	General list of requirements and restrictions. Water portion to rear and side P.Ls. Pool and spas may not be located in front yard. Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.	
		Master Development Plan supersedes Sections 9.3.207.1 - 9.3.207.5 with the exception of Section 9.3.207.5 - H, J, and K. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section. Convertible plans allow for second-story option to be built without a change in the roofline. A single-story convertible plan built as a two-story can exceed the 45% maximum coverage.	The imagery conveys samples of the architectural character intended for these neighborhoods.	5' min. to side yard fence; 10' min. to living area on corner lot/reversed corner lot; not applicable to Community Collectors 15' min. rear yard 5' min. interior side yard 45% max. lot coverage for two-story 50% max. lot coverage for single-story 120' min. lot depth 60' min. lot width 12' min. front yard setback to living area and side loaded garages; 10' min. to projections, and 8' min. to porch/patio 20' min. front yard setback to garage for both Neighborhood Collector and Local streets Driveway length for side loaded garages shall be 20' min. 5' wide sidewalk 5' or 6' wide parkway; varies with street type



# Residential Land Use Development Standards

LOW DENSITY RESIDENTIAL

DETAIL

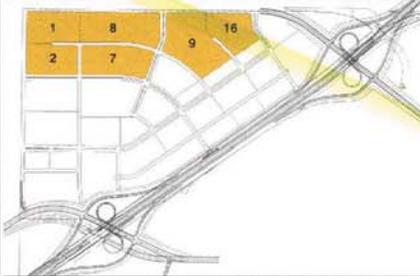
RESIDENTIAL LAND USE

LAND USE / PRODUCT

DEVELOPMENT STANDARDS

IMAGERY / PRODUCT SITE PLAN PROTOTYPE

KEY MAP



SFD-7500	LAND USE TOTAL AREA
	96.90 acres

**DESCRIPTION**

SFD-7500 is a neighborhood of standard single family detached lots, designed to provide more traditional-sized lots with a larger home product. These neighborhoods are served by neighborhood parks and community trails that access the greater community amenities.

**PERMITTED USES**

- \*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.
- Single Family dwellings of a permanent nature and accessory uses with not more than 1 du/lot
- All uses permitted under an R1 zone
- Private recreational facilities (for sole use of residents of the immediate neighborhood)
- Neighborhood and pocket parks
- Bikeways and pedestrian trails
- Temporary sales offices and model homes
- Home occupations
- Open space

**SFD-7500**

**STANDARD**

**NOTES**

**DESIGNATION**

Planning Area(s)	1, 2, 7, 8, 9, 16
Zone District	R1-7500
GP Density Range	2.1 - 4.0 du/ac
Dwelling Units	342 max

Land Use: The use of land designated SFD-7500 shall comply with those uses listed under Permitted Uses (see bottom-left).

**BUILDING INTENSITY**

Minimum Lot Area	7,500 sqft
Minimum Lot Width	60'*
Minimum Lot Depth	120'*
Maximum Coverage	45%/50%
Maximum Height	35'
Curved/Cul-de-sac/Corner Lot	40' min/100' min*

\*No lot shall have a maximum lot width to depth ratio of four to one.

Two-story (\*convertible plan N/A)/Single-story; includes all buildings, accessory and structures.

For street frontage/For lot depth on one side of lot; lot to provide adequate building envelope)

**BUILDING SETBACKS**

Front Yard (Collector or Local)	20' min*/12' min
	10' min/8' min
Side Yard (Interior)	5' min
Corner Lot/Reversed Corner Lot	5' min/10' min
Rear Yard	15' min

All setbacks measured from PL.

To garage/To living area

\*To garage measured from street, not corner cut off, for lots located at entry or roundabout.

To projections/To porch or patio

To side yard fence/To living area; not applicable to Community Collectors.

**GARAGES/STREETS/PARKING**

Sidewalks	5' wide
Garages	2-car: 20'x22' min 3-car: 30'x22' min or 20'x22' min w/tandem 10'x18' min; swing-in garage 10'x20' min.
Streets	36' or 40' wide
On-Street Parking	1 space/home min

Sidewalks between parkway/PLs along side yards between parkway/landscape easement.

Curb-to-curb; reference Street Sections.

Parking allowed on both sides of the street.

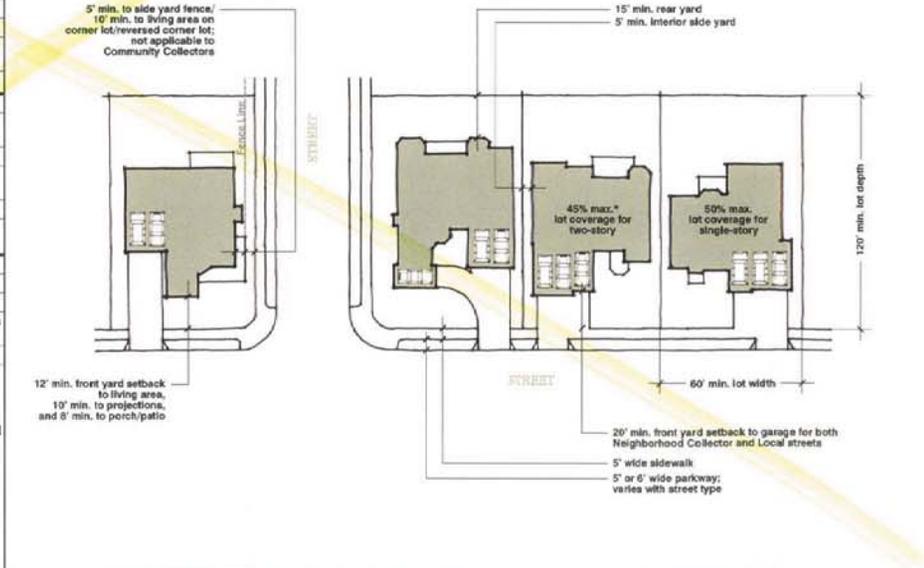
**ACCESSORY USES**

Walls/Fences	6'-8' high max
Trellises	12' high max
Pools and Spas	5' min
Equipment	Pool, spa and fountain equipment allowed in side yard easement.
Covered Structures	12' high max
Accessory Buildings	

General list of requirements and restrictions.

Water portion to rear and side PLs. Pool and spa may not be located in front yard.

Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.



Master Development Plan supersedes Sections 9.3.207.1 - 9.3.207.5 with the exception of Section 9.3.207.5 - H, J, and K. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section. Convertible plans allow for second-story option to be built without a change in the routine. A single-story convertible plan built as a two-story can exceed the 45% maximum coverage.

The imagery conveys samples of the architectural character intended for these neighborhoods.

NOT TO SCALE



# Residential Land Use Development Standards

MEDIUM DENSITY RESIDENTIAL

DETAIL

RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / PRODUCT SITE PLAN PROTOTYPE
KEY MAP	<b>SFD-6000</b>	STANDARD	NOTES	ARCHITECTURE



DESIGNATION			
Planning Area(s)	3, 4, 10		
Zone District	R1-6000		
GP Density Range	4.1 - 7.0 du/ac	Medium Density Residential	
Dwelling Units	164 max		
Land Use	The use of land designated SFD-6000 shall comply with those uses listed under Permitted Uses (see bottom left).		

BUILDING INTENSITY			
Minimum Lot Area	6,000 sqft		
Minimum Lot Width	60'		
Minimum Lot Depth	105'		
Maximum Coverage	45%/55%	Two-story/Single-story; includes all buildings, accessory and structures.	
Maximum Height	35'		
Curved/Cul-de-sac/Corner Lot	20' min/100' min	For street frontage/For lot depth	



SFD-6000	LAND USE TOTAL AREA
	37.15 acres

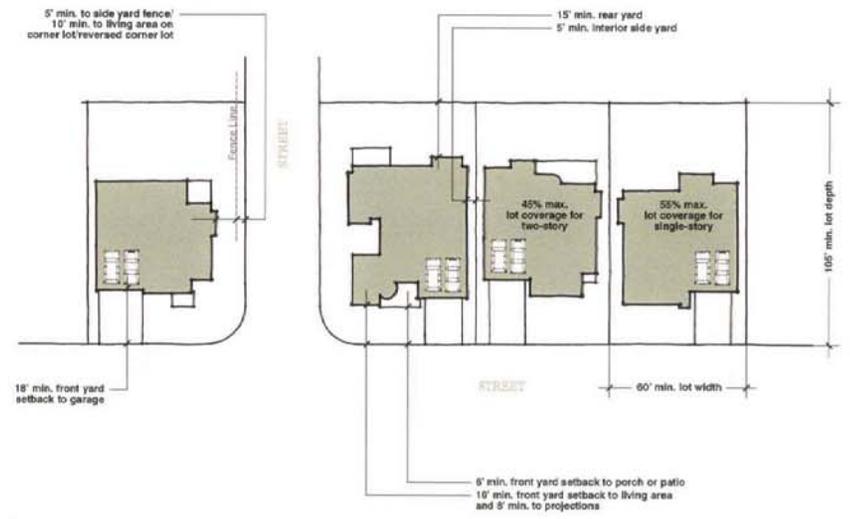
**DESCRIPTION**  
SFD-6000 is a gated neighborhood of standard single family detached lots, designed to provide custom style living with private back yards. These neighborhoods are served by neighborhood parks and community trails that access the greater community amenities.

BUILDING SETBACKS			
All setbacks measured from PL.			
Front Yard (Collector or Local)	18' min/10' min	To garage/To living area	
	8' min/6' min	To projections/To porch or patio	
Side Yard (Interior)	5' min		
Corner Lot/Reversed Corner Lot	5' min/10' min	To side yard fence/To living area	
Rear Yard	15' min		

PERMITTED USES	
<ul style="list-style-type: none"> <li>*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.</li> </ul>	<ul style="list-style-type: none"> <li>- Single Family dwellings of a permanent nature and accessory uses</li> <li>- All uses permitted under an R1 zone</li> <li>- Private recreational facilities (for sole use of residents of the immediate neighborhood)</li> <li>- Neighborhood and pocket parks</li> <li>- Bikeways and pedestrian trails</li> <li>- Temporary sales offices and model homes</li> <li>- Home occupations</li> <li>- Open space</li> </ul>

GARAGES/STREETS/PARKING			
Sidewalks	Limited	See specific site plans.	
Garages	2-car	20'x22' min	
	3-car	30'x22' min or 20'x22' min w/tandem 10'x18' min; swing-in garage 10'x20' min.	
Streets	37' or 41' wide	Curb-to-curb; reference <i>Street Sections</i> .	
On-Street Parking	1 space/home min	Parking allowed on both sides of the street.	

ACCESSORY USES			
General list of requirements and restrictions.			
Walls/Fences	6'-8' high max		
Trellises	12' high max		
Pools and Spas	5' min	Water portion to rear and side PLs. Pool and spa may not be located in front yard.	
Equipment	Pool, spa and fountain	equipment allowed in side yard easement.	
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.	
Accessory Buildings			



Master Development Plan superseded Sections 9.3.207.1 - 9.3.207.5 with the exception of Section 9.3.207.5 - J and K. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.

The imagery conveys samples of the architectural character intended for these neighborhoods. NOT TO SCALE



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE		
	KEY MAP	<b>SFD ALLEY-LOAD</b>	<table border="1"> <thead> <tr> <th>STANDARD</th> <th>NOTES</th> </tr> </thead> </table>	STANDARD	NOTES	ARCHITECTURE
STANDARD	NOTES					
		<b>DESIGNATION</b> Planning Area(s) 20, 22a, 22c, 23, 24 Zone District R2 GP Density Range 7.1 - 15.0 du/ac Dwelling Units 213 max Land Use The use of land designated SFD Alley-Load shall comply with those uses listed under Permitted Uses (see bottom-left).				
	<b>SFD ALLEY-LOAD</b> <b>LAND USE TOTAL AREA</b> 26.74 acres	<b>BUILDING INTENSITY</b> Minimum Lot Area 2,960 sqft Minimum Lot Width 37' Minimum Lot Depth 80' Maximum Coverage 60% Maximum Height 35' Curved/Cul-de-sac/Corner Lot 25' min/50' min	For street frontage/For lot depth			
	<b>DESCRIPTION</b> SFD Alley-Load is a neighborhood of small lot single family detached homes, that are alley-loaded to create a more aesthetic streetscape through the Linear Park Collector. This product is designed to create a pedestrian-friendly, sociable environment within the community by integrating porches and patios with low walls. These neighborhoods flank the Linear Park en-route to many of the community's amenities.	<b>BUILDING SETBACKS</b> Front Yard (Collector) 5' min Front Yard (Local) 5' min Side Yard 5' min Reversed Corner 5' min/5' min Rear Yard 3' min*	<b>All setbacks measured from PL.</b> To living area, projections and porch/patio To side yard fence/To living area *From garage to alley.			
	<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.	<b>GARAGES/STREETS/PARKING</b> Sidewalks Limited Garages 2-car 3-car Streets (Local) 36' wide Streets (Alley) 25' wide On-Street Parking Yes*	See specific site plans. 20'x20' min; no driveways. 20'x20' min w/tandem 9'x15.5' min; no driveways. Curb-to-curb; reference <i>Street Sections</i> . Curb-to-curb; reference <i>Street Sections</i> . *No parking in alley.			
	<ul style="list-style-type: none"> <li>- Single Family dwellings of a permanent nature and accessory uses</li> <li>- All uses permitted under an R2 zone</li> <li>- Private recreational facilities (for sole use of residents of the immediate neighborhood)</li> <li>- Neighborhood and pocket parks</li> <li>- Bikeways and pedestrian trails</li> <li>- Temporary sales offices and model homes</li> <li>- Home occupations</li> <li>- Open space</li> </ul>	<b>ACCESSORY USES</b> Walls/Fences 3' min - 6' high max Trellises 12' high max Pools and Spas 4' min Covered Structures Covered structures and building additions are not allowed. Accessory Buildings	<b>General list of requirements and restrictions.</b> See specific site plans. Water portion to rear and side PLs. Pool and spa may not be located in front yard.			
		Master Development Plan supercedes Sections 9.3.208 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.		<p>25' alley R.O.W.                      3' min. rear yard setback to garage                      5' min. interior side yard                      5' min. front yard setback to living area, projections and porch/patio                      5' wide sidewalk                      5' or 6' wide parkway; varies with street type                      80% max. lot coverage                      80' min. lot depth                      37' min. lot width</p>		
				The imagery conveys samples of the architectural character intended for these neighborhoods.		



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL

RESIDENTIAL LAND USE

LAND USE / PRODUCT

DEVELOPMENT STANDARDS

IMAGERY / PRODUCT SITE PLAN PROTOTYPE

KEY MAP

SFD ALLEY-LOAD

STANDARD

NOTES

ARCHITECTURE



DESIGNATION	
Planning Area(s)	20, 22a, 22c, 23, 24
Zone District	R2
GF Density Range	7.1 - 15.0 du/ac
Dwelling Units	213 max
Land Use	The use of land designated SFD Alley-Load shall comply with those uses listed under Permitted Uses (see bottom-left).

BUILDING INTENSITY	
Minimum Lot Area	2,960 sqft
Minimum Lot Width	37'
Minimum Lot Depth	80'
Maximum Coverage	60%
Maximum Height	35'
Curved/Cul-de-sac/Corner Lot	25' min/50' min

SFD ALLEY-LOAD	LAND USE TOTAL AREA
	26.74 acres

**DESCRIPTION**  
SFD Alley-Load is a neighborhood of small lot single family detached homes, that are alley-loaded to create a more aesthetic streetscape through the Linear Park Collector. This product is designed to create a pedestrian-friendly, sociable environment within the community by integrating porches and patios with low walls. These neighborhoods flank the Linear Park en-route to many of the community's amenities.

BUILDING SETBACKS		All setbacks measured from PL.
Front Yard (Collector)	5' min	To living area, projections and porch/patio
Front Yard (Local)	5' min	
Side Yard	5' min	
Reversed Corner	5' min/5' min	To side yard fence/To living area
Rear Yard	3' min*	*From garage to alley.

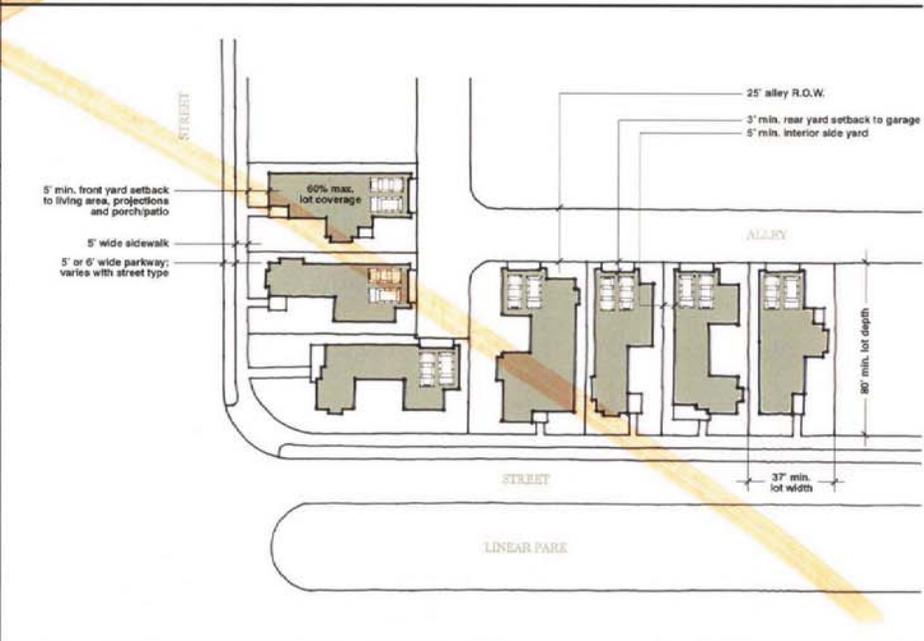
**PERMITTED USES**

*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.	<ul style="list-style-type: none"> <li>- Single Family dwellings of a permanent nature and accessory uses</li> <li>- All uses permitted under an R2 zone</li> <li>- Private recreational facilities (for sole use of residents of the immediate neighborhood)</li> <li>- Neighborhood and pocket parks</li> <li>- Bikeways and pedestrian trails</li> <li>- Temporary sales offices and model homes</li> <li>- Home occupations</li> <li>- Open space</li> </ul>
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GARAGES/STREETS/PARKING	
Sidewalks	Limited
Garages	2-car 3-car
Streets (Local)	36' wide
Streets (Alley)	25' wide
On-Street Parking	Yes*

ACCESSORY USES	
Walls/Fences	3' min - 6' high max
Trellises	12' high max
Covered Structures	Covered structures and building additions are not allowed.
Accessory Buildings	

**General list of requirements and restrictions.**  
See specific site plans.



Master Development Plan supersedes Sections 9.3.204 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements of the end of this section.

The Imagery conveys samples of the architectural character intended for these neighborhoods.





# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE																																		
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		<p>Master Development Plan supercedes Sections 9.3.20E - 9.3.20F. Refer to General Design Standards and Guidelines for additional requirements of the end of this Section.</p>	<p>The Imagery conveys samples of the architectural character intended for these neighborhoods.</p>																																			

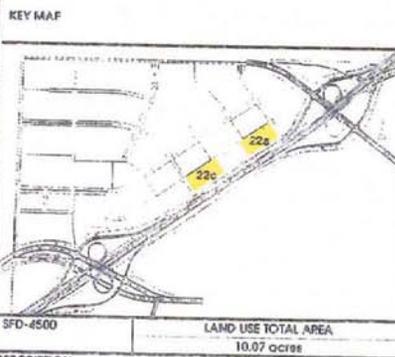


# Residential Land Use Development Standards

DETAIL

RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / PRODUCT SITE PLAN PROTOTYPE
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MEDIUM-HIGH DENSITY RESIDENTIAL



<b>KEY MAP</b>	<b>SFD-4500</b>	<b>STANDARD</b>	<b>NOTES</b>	<b>ARCHITECTURE</b>
<b>DESIGNATION</b>	Planning Area(s) Zone District GP Density Range Dwelling Units Land Use	22a, 22c R2 7.1 - 15.0 du/ac 74 max The use of land designated SFD-4500 shall comply with those uses listed under Permitted Uses (see bottom-left).	Medium-High Density Residential	
<b>BUILDING INTENSITY</b>	Minimum Lot Area Minimum Lot Width Minimum Lot Depth Maximum Coverage Maximum Height Curved/Cul-de-sac/ Corner Lot	4,500 sqft 50' 90' 60% 35' 25' min/50' min	For street frontage/For lot depth	



**DESCRIPTION**  
SFD-4500 is a neighborhood of standard single family detached lots, designed to provide custom style living with private back yards. These neighborhoods are served by neighborhood parks and community trails that access the greater community amenities.

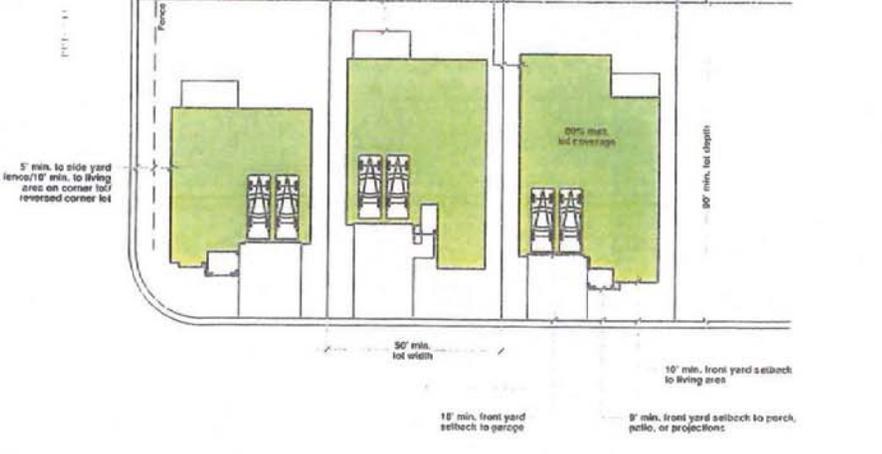
<b>BUILDING SETBACKS</b>	Front Yard (Local) Front Yard (Private) Side Yard Corner/Reversed Corner Rear Yard	18' min/10' min/9' min 12' min/10' min/9' min 5' min 5' min/10' min 8' min	All setbacks measured from PL To garage/To living area/To projections and/or porch/patio To side yard fence/To living area
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**PERMITTED USES**  
\*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.

- Single Family dwellings of a permanent nature and accessory uses
- All uses permitted under an R2 zone
- Private recreational facilities (for sole use of residents of the immediate neighborhood)
- Neighborhood and pocket parks
- Bikeways and pedestrian trails
- Temporary sales offices and model homes
- Home occupations
- Open space

<b>GARAGES/STREETS/PARKING</b>	Sidewalks Garages Streets (Private) On-Street Parking	Limited 2-car 3-car 36' wide Yes	See specific site plans. 20'x20' min. 20'x20' min w/tandem 9'x15.5' min. Curb-to-curb; reference Street Sections.
<b>ACCESSORY USES</b>	Walls/Fences Trellises Pools and Spas Equipment Covered Structures Accessory Buildings	6' min - 8' high max 12' high max 5' min Pool, spa and fountain equipment allowed in side yard easement. 12' high max	General list of requirements and restrictions. Water portion to rear and side PLs. Pool and spa may not be located in front yard. Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.



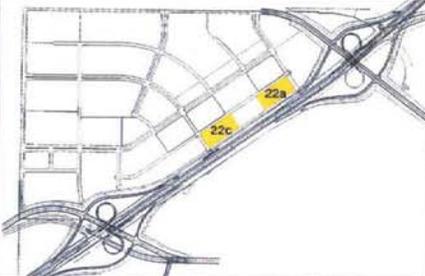
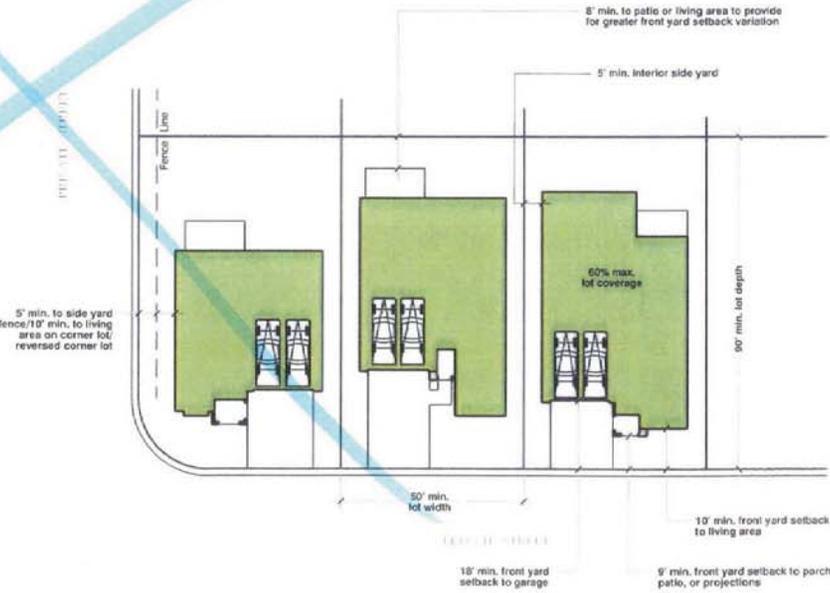
Master Development Plan supercedes Sections 9.1.206 - 9.1.208.5. Refer to General Design Standards and Guidelines for additional requirements of the end of this section.

The imagery conveys examples of the architectural character intended for these neighborhoods.



# Residential Land Use Development Standards

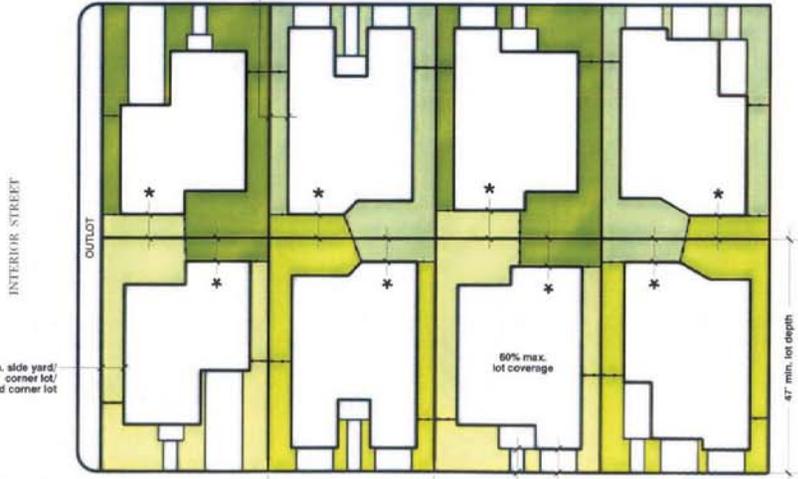
MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE																				
KEY MAP		<b>SFD-4500</b>	<table border="1"> <thead> <tr> <th>STANDARD</th> <th>NOTES</th> </tr> </thead> <tbody> <tr> <td>DESIGNATION</td> <td>22a, 22c</td> </tr> <tr> <td>Planning Area(s)</td> <td></td> </tr> <tr> <td>Zone District</td> <td>R2</td> </tr> <tr> <td>GP Density Range</td> <td>7.1 - 15.0 du/ac</td> </tr> <tr> <td>Dwelling Units</td> <td>74 max</td> </tr> <tr> <td>Land Use</td> <td>Medium-High Density Residential</td> </tr> <tr> <td colspan="2">The use of land designated SFD-4500 shall comply with those uses listed under Permitted Uses (see bottom-left).</td> </tr> </tbody> </table>	STANDARD	NOTES	DESIGNATION	22a, 22c	Planning Area(s)		Zone District	R2	GP Density Range	7.1 - 15.0 du/ac	Dwelling Units	74 max	Land Use	Medium-High Density Residential	The use of land designated SFD-4500 shall comply with those uses listed under Permitted Uses (see bottom-left).		ARCHITECTURE				
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	<p><b>SFD-4500</b></p> <p><b>LAND USE TOTAL AREA</b> 10.07 acres</p>	<table border="1"> <thead> <tr> <th>BUILDING INTENSITY</th> <th>STANDARD</th> <th>NOTES</th> </tr> </thead> <tbody> <tr> <td>Minimum Lot Area</td> <td>4,500 sqft</td> <td></td> </tr> <tr> <td>Minimum Lot Width</td> <td>50'</td> <td></td> </tr> <tr> <td>Minimum Lot Depth</td> <td>90'</td> <td></td> </tr> <tr> <td>Maximum Coverage</td> <td>60%</td> <td></td> </tr> <tr> <td>Maximum Height</td> <td>35'</td> <td></td> </tr> <tr> <td>Curved/Cul-de-sac/Corner Lot</td> <td>25' min/50' min</td> <td>For street frontage/For lot depth</td> </tr> </tbody> </table>	BUILDING INTENSITY	STANDARD	NOTES	Minimum Lot Area	4,500 sqft		Minimum Lot Width	50'		Minimum Lot Depth	90'		Maximum Coverage	60%		Maximum Height	35'		Curved/Cul-de-sac/Corner Lot	25' min/50' min	For street frontage/For lot depth	
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# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
	<b>KEY MAP</b>	<b>SFD-1800</b>	<b>STANDARD</b> <b>NOTES</b>	<b>ARCHITECTURE</b>
		<b>DESIGNATION</b> Planning Area(s)    27 Zone District        R3 GP Density Range    15.1 - 25.0 du/ac    High Density Residential Dwelling Units       168 max Land Use              The use of land designated SFD-1800 shall comply with those uses listed under Permitted Uses (see bottom-left).		
	<b>SFD-1800</b> <b>LAND USE TOTAL AREA</b> 10.69 acres	<b>BUILDING INTENSITY</b> Minimum Lot Area    1,740 sqft Minimum Lot Width   36' Minimum Lot Depth   47' Maximum Coverage   60% Maximum Height     35' Curved/Cul-de-sac/Corner Lot    29' min/36' min    For street frontage/For lot depth		
	<b>DESCRIPTION</b> SFD-1800 is a neighborhood of standard single family detached lots, designed to provide custom style living with private back yards. These neighborhoods are served by neighborhood parks and community trails that access the greater community amenities.	<b>BUILDING SETBACKS</b> Front Yard (Public)   5' min/4' min Front Yard (Private)   5' min/4' min Side Yard               3' min Corner/Reversed Corner   3' min Rear Yard               5' min 4' min Plans 1, 2, 3 Plan 4	<b>All setbacks measured from PL</b> To garage, living area, or porch/To projections	★ Use Easement To Adjacent Lot (except for lots 55' deep or greater) INTERIOR STREET 3' min. interior side yard
	<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.	- Single Family dwellings of a permanent nature and accessory uses - All uses permitted under an R3 zone - Private recreational facilities (for sole use of residents of the immediate neighborhood) - Neighborhood and pocket parks - Bikeways and pedestrian trails - Temporary sales offices and model homes - Home occupations - Open space	<b>GARAGES/STREETS/PARKING</b> Garages                1-car min    10'x16' min. 2-car        20'x20' min or tandem 10'x38' min. Streets (Interior)    36' wide      Curb-to-curb; reference Street Sections. Parking                1.5 spaces/unit min    20'x20' min or tandem 10'x38' min.	
		<b>ACCESSORY USES</b> Walls/Fences        6' min - 8' high max Trellises              12' high max Pools and Spas       3' min Equipment            Pool, spa and fountain equipment allowed in side yard easement. Covered Structures   12' high max Accessory Buildings	<b>General list of requirements and restrictions.</b> Water portion to rear and side PIs. Pool and spa may not be located in front yard. Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.	
		Master Development Plan supercedes Sections 9.3.206 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.		The imagery conveys samples of the architectural character intended for these neighborhoods. NOT TO SCALE



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
	KEY MAP	<b>SFD-3060</b>	STANDARD NOTES	ARCHITECTURE
		<b>DESIGNATION</b> Planning Area(s) 5, 17, 25, 26 Zone District R2 GP Density Range 7.1 - 15.0 du/ac Dwelling Units 310 max Land Use The use of land designated SFD-3060 shall comply with those uses listed under Permitted Uses (see bottom-left).		
	SFD-3060 LAND USE TOTAL AREA 35.04 acres	<b>BUILDING INTENSITY</b> Minimum Lot Area 3,060 sqft Minimum Lot Width 45' * Minimum Lot Depth 68' Maximum Coverage 65% Maximum Height 35' Flag/Knuckle/Curvilinear/Irregular-Shaped Lot 12' min	*Except irregular-shaped lots. Includes all buildings, accessory and structures. For street frontage; nominal lot frontage consistent with standards.	
	DESCRIPTION	SFD-3060 is a neighborhood of small lot single family detached homes, designed with a "pocket lot" concept that emphasizes pockets of outdoor spaces to create indoor/outdoor living opportunities. These neighborhoods are generally located closer to higher density areas adjacent to community amenities, public facilities and the village commercial center where they can support each other.	<b>BUILDING SETBACKS</b> Front Yard (Collector) 8' min/10' min Front Yard (Local) 8' min/10' min Side Yard 4' min* Corner Lot/Reversed Corner Lot N/A Rear Yard 5' min	All setbacks measured from PL. To garage and projections/To living area *8' min building separation, except for projections.
	PERMITTED USES	*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles. - Single Family dwellings of a permanent nature and accessory uses - All uses permitted under an R2 zone - Private recreational facilities (for sole use of residents of the immediate neighborhood) - Neighborhood and pocket parks - Bikeways and pedestrian trails - Temporary sales offices and model homes - Home occupations - Open space	<b>GARAGES/STREETS/PARKING</b> Sidewalks Limited Garages 1-car 10'x18' min 2-car 20'x20' min or tandem 10'x38' min Streets 31.2' or 37.2' wide On-Street Parking Yes	
		<b>ACCESSORY USES</b> Walls/Fences 6' high max Trellises 12' high max Pools and Spas 4' min Equipment Pool, spa and fountain equipment allowed in side yard easement. Covered Structures 12' high max Accessory Buildings No-Build Condition Side yard easement over burdened property considered a "no-build" area for burdened owner; no construction allowed including utilities. Utilities Utilities for structures and features built in rear yards shall be within PL of benefitted property. At point where features are built in an easement, a stub of the utilities is allowed. Utilities from street for burdened property may be located in side yard easement, but only in front yards.	<b>General list of requirements and restrictions.</b> See specific site plans. Water portion to rear or side PL, adjoining residential structure, or fence line; water located no closer than common PL between two homes. Pool and spa may not be located in front yard. Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.	
		Master Development Plan supersedes Sections 9.3.201 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements of the end of this Section.		



5' min. rear yard setback  
 4' min. side yard easement with "No Build" condition  
 4' min. interior side yard;  
 8' min. building separation, except for projections

10' min. front yard setback to living area  
 8' min. front yard setback to projections  
 8' min. front yard setback to garage for Neighborhood Collector and Local streets

45' min. lot width  
 68' min. lot depth

85% max. lot coverage

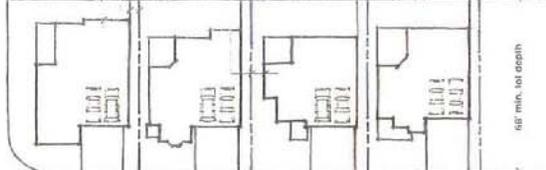
NOT TO SCALE

The Imagery conveys samples of the architectural character intended for these neighborhoods.

# Residential Land Use Development Standards

DETAIL

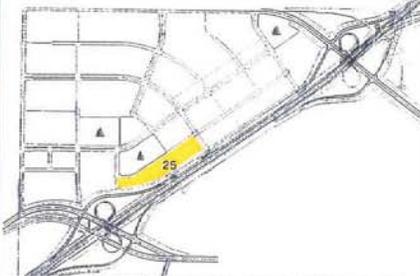
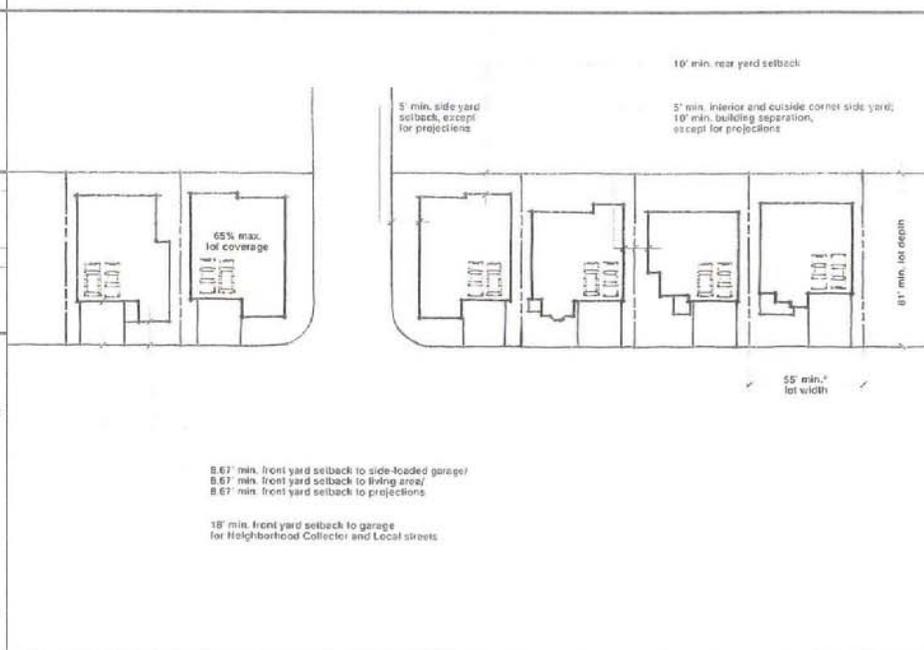
MEDIUM-HIGH DENSITY RESIDENTIAL

RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
KEY MAP	<b>SFD-3060</b> ▲ - Refer to Page 47-B	STANDARD	ARCHITECTURE
	<b>DESIGNATION</b> Planning Area(s) Zone District GP Density Range	5, 17, 26, (25)▲ R2 7.1 - 15.0 du/ac	Medium-High Density Residential; calculation based on total acreage of SFD-3060/ Green Lot units.
<b>SFD-3060</b>	<b>LAND USE TOTAL AREA</b> 24.69 acres	<b>Dwelling Units</b> Land Use	
<b>DESCRIPTION</b> SFD-3060 is a neighborhood of small lot single family detached homes, designed with a "pocket lot" concept that emphasizes pockets of outdoor spaces to create indoor/outdoor living opportunities. These neighborhoods are generally located closer to higher density areas adjacent to community amenities, public facilities and the village commercial center where they can support each other.	<b>BUILDING INTENSITY</b> Minimum Lot Area Minimum Lot Width Minimum Lot Depth Maximum Coverage Maximum Height Flag/Knuckle/Curvi-linear/Irregular-Shaped Lot	3,060 sqft 45' 68' 65% 35' 12' min	* Except irregular-shaped lots. Includes all buildings, accessory and structures. For street frontage; nominal lot frontage consistent with standards.
<b>PERMITTED USES</b> * All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.	<b>BUILDING SETBACKS</b> Front Yard (Collector) Front Yard (Local) Side Yard Corner Lot/Reversed Corner Lot Rear Yard	8' min/10' min 8' min/10' min 4' min N/A 5' min	All setbacks measured from PL To garage and projections/To living area * 8' min building separation, except for projections. 5' min. rear yard setback 4' min. side yard easement with "No Build" condition 4' min. interior side yard, 8' min. building separation, except for projections
<b>PERMITTED USES</b> * All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.	<b>GARAGES/STREETS/PARKING</b> Sidewalks Garages Streets On-Street Parking	Limited 1-car 2-car 31.2' or 37.2' wide Yes	See specific site plans. 10'x18' min 20'x20' min or tandem 10'x38' min Curb-to-curb; reference <i>Street Sections</i> . Conditions vary per street type. 
<b>PERMITTED USES</b> * All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.	<b>ACCESSORY USES</b> Walls/Fences Trellises Pools and Spas Equipment Covered Structures Accessory Buildings No-Build Condition Utilities	6' high max 12' high max 4' min Pool, spa and fountain equipment allowed in side yard easement. 12' high max Side yard easement over burdened property considered a "no-build" area for burdened owner; no construction allowed including utilities. Utilities for structures and features built in rear yards shall be within PL of benefited property. At point where features are built in an easement, a stub of the utilities is allowed. Utilities from street for burdened property may be located in side yard easement, but only in front yards.	General list of requirements and restrictions. See specific site plans. Water portion to rear or side PL, adjoining residential structure, or fence line; water located no closer than common PL between two homes. Pool and spa may not be located in front yard. Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs. 10' min. front yard setback to living area/ 8' min. front yard setback to projections 8' min. front yard setback to garage for Neighborhood Collector and Local streets 45' min.* lot width 68' min. lot depth 
	Master Development Plan superceded Sections 9.3.206 - 9.3.209.5. Refer to General Design Standards and Guidelines for additional requirements at the end of the Section.		The imagery conveys samples of the architectural character intended for these neighborhoods. 



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
		<b>SFD GREEN LOT</b> ▲ - Refer to Page 47-A	STANDARD	NOTES
	KEY MAP			ARCHITECTURE
		<b>DESIGNATION</b> Planning Area(s) Zone District GP Density Range	25 R2 7.1 - 15.0 du/ac	Medium-High Density Residential, calculation based on total acreage of SFD-3060/Green Lot units.
		Dwelling Units Land Use	69 max (excludes PA 5, 17, 26) The use of land designated SFD Green Lot shall comply with these uses listed under Permitted Uses (see bottom-left).	
		<b>BUILDING INTENSITY</b> Minimum Lot Area Minimum Lot Width Minimum Lot Depth Maximum Coverage Maximum Height	4,500 sqft 55' 81' 65% 35'	Except irregular-shaped lots. Includes all buildings, accessory and structures.
		<b>SFD GREEN LOT</b>	<b>LAND USE TOTAL AREA</b> 10.35 acres	
	<b>DESCRIPTION</b> SFD Green Lot is a neighborhood of small lot single family detached homes. These neighborhoods are generally located closer to higher density areas adjacent to community amenities, public facilities and the village commercial center where they can support each other.	<b>BUILDING SETBACKS</b> Front Yard (Collector) Front Yard (Local) Side Yard Corner Lot Rear Yard	18' min/8.67' min 18' min/8.67' min 5' min 5' min 10' min	All setbacks measured from PL. To garage/To projections, living area and side-loaded garages 10' min building separation, except for projections. Accessory building encroachments are permitted as stated below.
	<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles. - Single Family dwellings of a permanent nature and accessory uses - All uses permitted under an R2 zone - Private recreational facilities (for sole use of residents of the immediate neighborhood) - Neighborhood and pocket parks - Bikeways and pedestrian trails - Temporary sales offices and model homes - Home occupations - Open space	<b>GARAGES/STREETS/PARKING</b> Sidewalks Garages Streets On-Street Parking	Limited 3-car 2-car 32' to 43.3' wide Yes	See specific site plans. 10'x16' min 20'x20' min Curb-to-curb; reference Street Sections. Conditions vary per street type.
		<b>ACCESSORY USES</b> Walls/Fences Trellises Pools and Spas Equipment Covered Structures Accessory Buildings	6' high max 12' high max 5' min Pool, spa and fountain equipment allowed in side yard setback. 12' high max 5' min setback from all property lines	General list of requirements and restrictions. See specific site plans. Water portion to rear or side PL, adjoining residential structure, or fence line; water located no closer than common PL between two homes. Pool and spa may not be located in front yard. Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.
				
		<b>Master Development Plan supersedes Sections 9.3.208 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.</b>		The imagery conveys samples of the architectural character intended for these neighborhoods.



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE																
KEY MAP		<b>SFD GARDEN COURT</b>	<table border="1"> <thead> <tr> <th>STANDARD</th> <th>NOTES</th> </tr> </thead> </table>	STANDARD	NOTES	ARCHITECTURE														
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		<p><b>BUILDING INTENSITY</b></p> <table border="1"> <tr> <td>Minimum Lot Area</td> <td>1,880 sqft</td> <td></td> </tr> <tr> <td>Minimum Lot Width</td> <td>40'</td> <td></td> </tr> <tr> <td>Minimum Lot Depth</td> <td>47'</td> <td></td> </tr> <tr> <td>Maximum Coverage</td> <td>70%</td> <td></td> </tr> <tr> <td>Maximum Height</td> <td>35'</td> <td>Includes third-story option.</td> </tr> </table>	Minimum Lot Area	1,880 sqft		Minimum Lot Width	40'		Minimum Lot Depth	47'		Maximum Coverage	70%		Maximum Height	35'	Includes third-story option.			
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	<p><b>SFD GARDEN COURT</b></p> <p><b>LAND USE TOTAL AREA</b> 27.97 acres</p>																			
	<p><b>DESCRIPTION</b></p> <p>SFD Garden Court is a neighborhood of small lot single family detached homes, that are arranged in garden court cluster formations of four. This product is designed for creating "front-on" conditions that enhance the street scene, similar to an alley-loaded product. These neighborhoods flank the linear park en-route to all of the community's amenities, and have green courts integrated to provide access to the community trails and neighborhood parks.</p>	<p><b>BUILDING SETBACKS</b></p> <table border="1"> <tr> <td>Yard (Comm. Collector)</td> <td>9' min/8' min/5' min</td> <td rowspan="2">All setbacks measured from PL. To living area/To projections/To porch or patio</td> </tr> <tr> <td>Yard (Neigh. Collector)</td> <td>7' min/6' min/3' min</td> </tr> <tr> <td>Yard (Local)</td> <td>5' min/4' min/3' min</td> <td></td> </tr> <tr> <td>Side Yard (Interior)</td> <td>8' min*</td> <td>*Building separation, except for projections.</td> </tr> <tr> <td>Corner Lot/Reversed Corner Lot</td> <td>N/A</td> <td></td> </tr> <tr> <td>Rear Yard</td> <td>2' min/4' min</td> <td>From garage to Garage Court R.O.W./From garage to Local Street R.O.W.</td> </tr> </table>	Yard (Comm. Collector)	9' min/8' min/5' min	All setbacks measured from PL. To living area/To projections/To porch or patio	Yard (Neigh. Collector)	7' min/6' min/3' min	Yard (Local)	5' min/4' min/3' min		Side Yard (Interior)	8' min*	*Building separation, except for projections.	Corner Lot/Reversed Corner Lot	N/A		Rear Yard	2' min/4' min	From garage to Garage Court R.O.W./From garage to Local Street R.O.W.	
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	<p><b>PERMITTED USES</b></p> <p>*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.</p> <ul style="list-style-type: none"> <li>- Single Family dwellings of a permanent nature and accessory uses</li> <li>- All uses permitted under an R2 zone</li> <li>- Private recreational facilities (for sole use of residents of the immediate neighborhood)</li> <li>- Neighborhood and pocket parks</li> <li>- Bikeways and pedestrian trails</li> <li>- Temporary sales offices and model homes</li> <li>- Home occupations</li> <li>- Open space</li> </ul>	<p><b>Additional Standards</b></p> <p>For homes adjacent to N. Dutch Ave., N. Rector Ave., N. Francher Ave., and N. Highland, fences may extend to the property line, so long as fences are constructed at the same time as the homes and there is significant additional landscape area between the home and street right-of-way.</p> <p>Front courtyards for homes facing internal open space common areas, not public or private streets, may extend to the respective lot's property line so long as front courtyards are constructed at the same time as the home. Front courtyard walls and fences shall be no higher than three (3) feet.</p>																		
		<p><b>GARAGES/STREETS/PARKING</b></p> <table border="1"> <tr> <td>Sidewalks</td> <td>Limited</td> <td>See specific site plans.</td> </tr> <tr> <td>Garages</td> <td>1-car 2-car</td> <td>10'x18' min 20'x20' min or tandem 10'x39' min</td> </tr> <tr> <td>Streets (Local)</td> <td>32' or 37' wide</td> <td>Curb-to-curb; reference Street Sections.</td> </tr> <tr> <td>Streets (Garage Court)</td> <td>22' wide min*</td> <td>Curb-to-curb; reference Street Sections. *26' wide min backing distance.</td> </tr> <tr> <td>On-Street Parking</td> <td>Yes*</td> <td>*No parking in garage court.</td> </tr> </table>	Sidewalks	Limited	See specific site plans.	Garages	1-car 2-car	10'x18' min 20'x20' min or tandem 10'x39' min	Streets (Local)	32' or 37' wide	Curb-to-curb; reference Street Sections.	Streets (Garage Court)	22' wide min*	Curb-to-curb; reference Street Sections. *26' wide min backing distance.	On-Street Parking	Yes*	*No parking in garage court.			
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		<p>Master Development Plan supercedes Sections 9.3.205 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.</p>		<p>The imagery conveys samples of the architectural character intended for these neighborhoods.</p> <p style="text-align: right;">NOT TO SCALE</p>																



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL

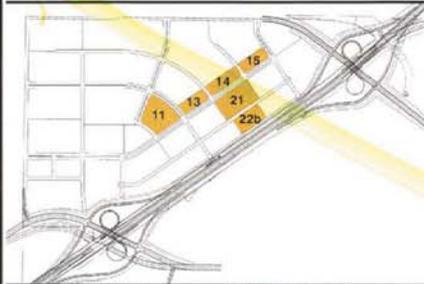
RESIDENTIAL LAND USE

LAND USE / PRODUCT

DEVELOPMENT STANDARDS

IMAGERY / PRODUCT SITE PLAN PROTOTYPE

KEY MAP



**SFD GARDEN COURT**

**DESIGNATION**

Planning Area(s)	11, 13, 14, 15, 21, 22b	
Zone District	R2	
GP Density Range	7.1 - 15.0 du/ac	Medium-High Density Residential
Dwelling Units	305 max	
Land Use	The use of land designated SFD Garden Court shall comply with those uses listed under Permitted Uses (see bottom-left).	

**BUILDING INTENSITY**

Minimum Lot Area	1,880 sqft	
Minimum Lot Width	40'	
Minimum Lot Depth	47'	
Maximum Coverage	70%	
Maximum Height	35'	Includes third-story option.

SFD GARDEN COURT	LAND USE TOTAL AREA
	27.97 acres

**DESCRIPTION**

SFD Garden Court is a neighborhood of small lot single family detached homes, that are arranged in garden court cluster formations of four. This product is designed for creating "front-on" conditions that enhance the street scene, similar to an alley-loaded product. These neighborhoods flank the linear park en-route to all of the community's amenities, and have green courts integrated to provide access to the community trails and neighborhood parks.

**BUILDING SETBACKS**

Yard (Comm. Collector)	9' min/8' min/5' min	All setbacks measured from PL. To living area/To projections/To porch or patio
Yard (Neigh. Collector)	7' min/6' min/3' min	
Yard (Local)	5' min/4' min/3' min	
Side Yard (Interior)	8' min*	*Building separation, except for projections.
Corner Lot/Reversed Corner Lot	N/A	
Rear Yard	2' min/4' min	From garage to Garage Court R.O.W./From garage to Local Street R.O.W.

**PERMITTED USES**

- \*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.
- Single Family dwellings of a permanent nature and accessory uses
- All uses permitted under an R2 zone
- Private recreational facilities (for sole use of residents of the immediate neighborhood)
- Neighborhood and pocket parks
- Bikeways and pedestrian trails
- Temporary sales offices and model homes
- Home occupations
- Open space

**GARAGES/STREETS/PARKING**

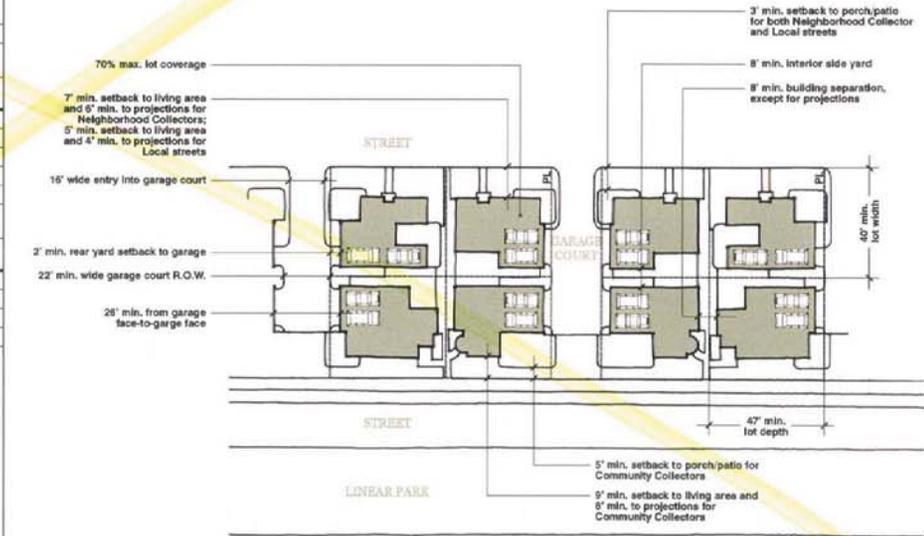
Sidewalks	Limited	See specific site plans.
Garages	1-car	10'x18' min
	2-car	20'x20' min or tandem 10'x39' min
Streets (Local)	32' or 37' wide	Curb-to-curb; reference <i>Street Sections</i> .
Streets (Garage Court)	22' wide min*	Curb-to-curb; reference <i>Street Sections</i> . *26' wide min backing distance.
On-Street Parking	Yes*	*No parking in garage court.

**ACCESSORY USES**

Walls/Fences	3' min - 6' high max	General list of requirements and restrictions. See specific site plans.
Trellises	12' high max	
Porches/Patios	Porches and patios may encroach into outlot. See specific site plans.	
Covered Structures	Covered structures and building additions are not allowed.	
Accessory Buildings		

Master Development Plan supersedes Sections 9.3.208 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements of the end of this Section.

ARCHITECTURE



The imagery conveys samples of the architectural character intended for these neighborhoods.

NOT TO SCALE

# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
		<b>SFD GARDEN COURT</b>		
	KEY MAP		STANDARD	NOTES
		O - Refer to Page 48-B		
		DESIGNATION Planning Areas) 11, 13, 14, 15, (22b) (21) (21) Zone District R2 GP Density Range 7.1 - 15.0 du/ac Dwelling Units 184 max (excludes PA 21 & 22b) Land Use The use of land designated SFD Garden Court shall comply with those uses listed under Permitted Uses (see bottom-left).	Medium-High Density Residential; calculation based on total acreage of the Garden Court/ Garden Lot units.	ARCHITECTURE
		BUILDING INTENSITY Minimum Lot Area 1,880 sqft Minimum Lot Width 40' Minimum Lot Depth 47' Maximum Coverage 70% Maximum Height 35'	Includes third-story option.	
		SFD GARDEN COURT LAND USE TOTAL AREA 16.79 acres		
	DESCRIPTION	SFD Garden Court is a neighborhood of small lot single family detached homes, that are arranged in garden court cluster formations of four. This product is designed for creating "front-on" conditions that enhance the street scene, similar to an alley-loaded product. These neighborhoods flank the linear park-en-route to all of the community's amenities, and have green courts integrated to provide access to the community trails and neighborhood parks.		
	PERMITTED USES	<ul style="list-style-type: none"> <li>All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.</li> <li>Single Family dwellings of a permanent nature and accessory uses</li> <li>All uses permitted under an R2 zone</li> <li>Private recreational facilities (for sole use of residents of the immediate neighborhood)</li> <li>Neighborhood and pocket parks</li> <li>Bikeways and pedestrian trails</li> <li>Temporary sales offices and model homes</li> <li>Home occupations</li> <li>Open space</li> </ul>		
		BUILDING SETBACKS Yard (Comm. Collector) 9' min/8' min/5' min Yard (Neigh. Collector) 7' min/6' min/3' min Yard (Local) 5' min/4' min/3' min Side Yard (Interior) 8' min* Corner Lot/Reversed Corner Lot N/A Rear Yard 2' min/4' min	<p>All setbacks measured from PL.</p> <p>To living area/To projections/To porch or patio</p> <p>*Building separation, except for projections.</p> <p>From garage to Garage Court R.O.W./From garage to Local Street R.O.W.</p>	
		Additional Standards	<p>For homes adjacent to N. Dutch Ave., N. Rector Ave., N. Francher Ave., and N. Highland, fences may extend to the property line, so long as fences are constructed at the same time as the homes and there is significant additional landscape area between the home and street right-of-way.</p> <p>Front courtyards for homes facing internal open space common areas, not public or private streets, may extend to the respective lot's property line so long as front courtyards are constructed at the same time as the home. Front courtyard walls and fences shall be no higher than three (3) feet.</p>	
		GARAGES/STREETS/PARKING		
		Sidewalks Limited	See specific site plans.	
		Garages 1-car 2-car	10'x18' min 20'x20' min or tandem 10'x39' min	
		Streets (Local) 32' or 37' wide	Curb-to-curb; reference Street Sections.	
		Streets (Garage Court) 22' wide min*	Curb-to-curb; reference Street Sections. *26' wide min backing distance.	
		On-Street Parking Yes*	*No parking in garage court.	
		ACCESSORY USES	General list of requirements and restrictions.	
		Walls/Fences 3' min - 6' high max	See specific site plans.	
		Trellises 12' high max		
		Porches/Patios	Porches and patios may encroach into outlet. See specific site plans.	
		Covered Structures	Covered structures and building additions are not allowed.	
		Accessory Buildings	Open lattice type structures for the purpose of creating shade are not considered covered structures, and are allowed so long as they are architecturally compatible with the building. Any open lattice type structure shall require a building permit and shall comply with all recognized setbacks.	
		Master Development Plan supersedes Sections 9.3.206 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements of the end of this Section.		
				<p>70% max. lot coverage</p> <p>7' min. setback to living area and 6' min. to projections for Neighborhood Collectors; 5' min. setback to living area and 4' min. to projections for Local streets</p> <p>16' wide entry into garage court</p> <p>2' min. rear yard setback to garage</p> <p>22' min. wide garage court R.O.W.</p> <p>26' min. from garage face-to-garage face</p> <p>47' min. lot depth</p> <p>3' min. setback to porch/patio for both Neighbor Road Collector and Local streets</p> <p>0' min. interior side yard</p> <p>0' min. building separation, except for projections.</p> <p>5' min. setback to porch/patio for Community Collectors</p> <p>9' min. setback to living area and 8' min. to projections for Community Collectors</p> <p>40' min. lot width</p> <p>1" = 10' SCALE</p>
				The imagery conveys samples of the architectural character intended for these neighborhoods.



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL

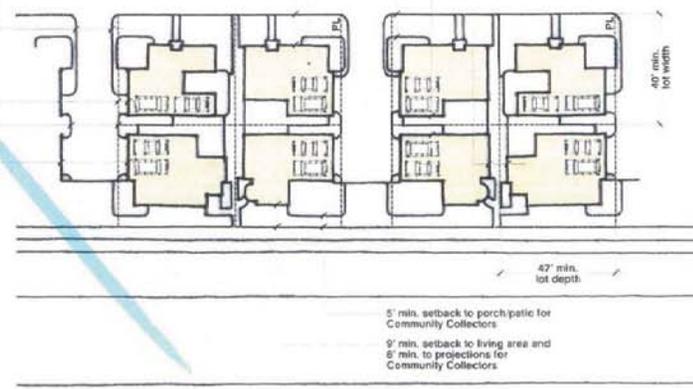
RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
<b>SFD GARDEN COURT</b>			
<b>KEY MAP</b>	<b>SFD GARDEN COURT</b> O - Refer to Page 48-B	<b>STANDARD</b> <b>NOTES</b>	<b>ARCHITECTURE</b>
	<b>DESIGNATION</b> Planning Area(s): 11, 13, 14, 15, 22b (21) <sup>O</sup> Zone District: R2 GF Density Range: 7.1 - 15.0 du/ac Medium-High Density Residential; calculation based on total acreage of the Garden Court/ Garden Lot units.  Dwelling Units: 228 max (excludes PA 21) <sup>O</sup> Land Use: The use of land designated SFD Garden Court shall comply with those uses listed under Permitted Uses (see bottom-left).		
<b>SFD GARDEN COURT</b> <b>LAND USE TOTAL AREA</b> 20.67 acres	<b>BUILDING INTENSITY</b> Minimum Lot Area: 1,880 sqft Minimum Lot Width: 40' Minimum Lot Depth: 47' Maximum Coverage: 70% Maximum Height: 35' Includes third-story option.		
<b>DESCRIPTION</b> SFD Garden Court is a neighborhood of small lot single family detached homes, that are arranged in garden court cluster formations of four. This product is designed for creating "front-on" conditions that enhance the street scene, similar to an alley-loaded product. These neighborhoods flank the linear park en-route to all of the community's amenities, and have green courts integrated to provide access to the community trails and neighborhood parks.	<b>BUILDING SETBACKS</b> Yard (Comm. Collector): 9' min/8' min/5' min Yard (Neigh. Collector): 7' min/6' min/3' min Yard (Local): 5' min/4' min/3' min Side Yard (Interior): 8' min* Corner Lot/Reversed Corner Lot: N/A Rear Yard: 2' min/4' min  Additional Standards: For homes adjacent to N. Dutch Ave., N. Rector Ave., N. Grand Ave., and N. Highland, fences may extend to the property line, so long as fences are constructed at the same time as the homes and there is significant additional landscape area between the home and street right-of-way.  Front courtyards for homes facing internal open space common areas, not public or private streets, may extend to the respective lot's property line so long as front courtyards are constructed at the same time as the home. Front courtyard walls and fences shall be no higher than three (3) feet.	<b>All setbacks measured from PL.</b> To living area/To projections/To porch or patio  70% max. lot coverage  7' min. setback to living area and 8' min. to projections for Neighborhood Collectors; 5' min. setback to living area and 4' min. to projections for Local streets  16' wide entry into garage court  2' min. rear yard setback to garage 22' min. wide garage court R.O.W.  26' min. from garage face-to-garage face  47' min. lot depth  40' min. lot width	
<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.  - Single Family dwellings of a permanent nature and accessory uses - All uses permitted under an R2 zone - Private recreational facilities (for sole use of residents of the immediate neighborhood) - Neighborhood and pocket parks - Bikeways and pedestrian trails - Temporary sales offices and model homes - Home occupations - Open space	<b>GARAGES/STREETS/PARKING</b> Sidewalks: Limited Garages: 1-car: 10'x18' min 2-car: 20'x20' min or tandem 10'x39' min Streets (Local): 32' or 37' wide Streets (Garage Court): 22' wide min* On-Street Parking: Yes*  <b>ACCESSORY USES</b> Walls/Fences: 3' min - 6' high max Trellises: 12' high max Porches/Patios: Porches and patios may encroach into outlot. See specific site plans. Covered Structures: Covered structures and building additions are not allowed Accessory Buildings: Open lattice type structures for the purpose of creating shade are not considered covered structures, and are allowed so long as they are architecturally compatible with the building. Any open lattice type structure shall require a building permit and shall comply with all recognized setbacks.	<b>General list of requirements and restrictions.</b> See specific site plans.  Curb-to-curb; reference <i>Street Sections</i> . Curb-to-curb; reference <i>Street Sections</i> . *26' wide min backing distance. *No parking in garage court.  See specific site plans.  See specific site plans.	<b>3' min. setback to porch/patio for both Neighborhood Collector and Local streets</b>  <b>8' min. interior side yard</b>  <b>8' min. building separation, except for projections</b>  <b>5' min. setback to porch/patio for Community Collectors</b>  <b>9' min. setback to living area and 8' min. to projections for Community Collectors</b>
	Master Development Plan supersedes Sections 9.3.20E - 9.3.20E.5. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.		The imagery conveys samples of the architectural character intended for these neighborhoods.

EXHIBIT "B-3"



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
		<b>SFD GARDEN LOT</b>		
	KEY MAP	◊ - Refer to Page 48-A	STANDARD	NOTES
		<b>DESIGNATION</b> Planning Area(s) Zone District GP Density Range	21, 22b (11, 13, 14, 15) <sup>◊</sup> R2 7.1 - 15.0 du/ac	ARCHITECTURE
		Dwelling Units Land Use	71 max (excludes PA 11, 13, 14, 15) <sup>◊</sup> The use of land designated SFD Garden Lot shall comply with those uses listed under Permitted Uses (see bottom-left).	
		<b>BUILDING INTENSITY</b> Minimum Lot Area Minimum Lot Width Minimum Lot Depth Maximum Coverage Maximum Height	4,500 sqft 55' <sup>7</sup> 81' 65% 35'	
			*Except in irregular-shaped lots. Includes all buildings, accessory and structures.	
	SFD GARDEN LOT	LAND USE TOTAL AREA		
		11.16 acres		
	<b>DESCRIPTION</b> SFD Garden Lot is a neighborhood of small lot single family detached homes. These neighborhoods are generally located closer to higher density areas adjacent to community amenities, public facilities and the village commercial center where they can support each other.	<b>BUILDING SETBACKS</b> Front Yard (Collector) Front Yard (Local) Side Yard Corner Lot Rear Yard	18' min/8.67' min 18' min/8.67' min 5' min <sup>4</sup> 5' min 10' min	All setbacks measured from PL. To garage/To projections, living area and side-loaded garages. *10' min building separation, except for projections. Accessory building encroachments are permitted as stated below.
		<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.	<b>GARAGES/STREETS/PARKING</b> Sidewalks Garages Streets On-Street Parking	10' min. rear yard setback 5' min. side yard setback, except for projections 5' min. interior and outside corner side yard; 10' min. building separation, except for projections 55' min. lot width
		- Single Family dwellings of a permanent nature and accessory uses - All uses permitted under an R2 zone - Private recreational facilities (for sole use of residents of the immediate neighborhood) - Neighborhood and pocket parks - Bikeways and pedestrian trails - Temporary sales offices and model homes - Home occupations - Open space	Limited 3-car 2-car 32' to 43.3' wide Yes	See specific site plans. 10'x16' min 20'x20' min Curb-to-curb; reference Street Sections. Conditions vary per street type.
		<b>ACCESSORY USES</b> Walls/Fences Trellises Pools and Spas  Equipment Covered Structures Accessory Buildings	6' high max 12' high max 5' min  Pool, spa and fountain 12' high max 5' min setback from all property lines	General list of requirements and restrictions. See specific site plans. Water portion to rear or side PL, adjoining residential structure, or fence line; water located no closer than common PL between two homes. Pool and spa may not be located in front yard. Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.
		Master Development Plan supersedes Sections 9.3.200 - 9.3.203.5. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.		The imagery conveys samples of the architectural character intended for these neighborhoods.



# Residential Land Use Development Standards

MEDIUM-HIGH DENSITY RESIDENTIAL

DETAIL

RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / PRODUCT SITE PLAN PROTOTYPE
KEY MAP	<b>SFD GARDEN LOT</b> ○ - Refer to Page 48-A	STANDARD	NOTES	ARCHITECTURE



DESIGNATION			
Planning Area(s)	21 (11, 13, 14, 15, 22b) ○		
Zone District	R2		
GP Density Range	71 - 15.0 du/ac	Medium-High Density Residential; calculation based on total acreage of the Garden Court/ Garden Lot units.	
Dwelling Units	46 max (excludes PA 11, 13, 14, 15, 22b) ○		
Land Use	The use of land designated SFD Garden Lot shall comply with those uses listed under Permitted Uses (see bottom-left).		
BUILDING INTENSITY			
Minimum Lot Area	4,500 sqft		
Minimum Lot Width	55'	*Except irregular-shaped lots.	
Minimum Lot Depth	81'		
Maximum Coverage	65%	Includes all buildings, accessory and structures.	
Maximum Height	35'		



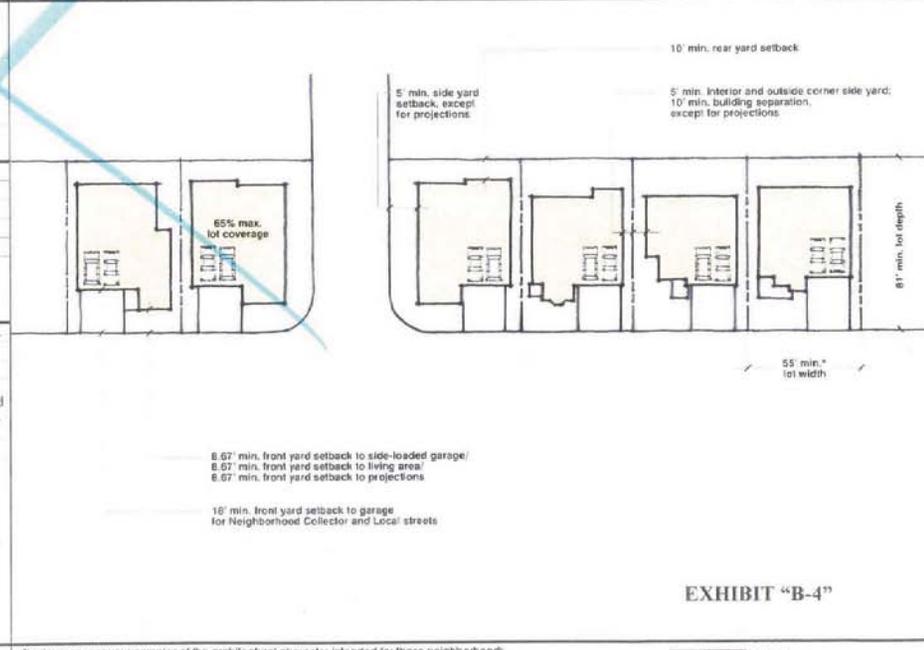
**DESCRIPTION**  
SFD Garden Lot is a neighborhood of small lot single family detached homes. These neighborhoods are generally located closer to higher density areas adjacent to community amenities, public facilities and the village commercial center where they can support each other.

BUILDING SETBACKS			
Front Yard (Collector)	18' min/8.67' min	To garage/To projections, living area and side-loaded garages	All setbacks measured from PL.
Front Yard (Local)	18' min/8.67' min		
Side Yard	5' min*	*10' min building separation, except for projections.	
Corner Lot	5' min		
Rear Yard	10' min	Accessory building encroachments are permitted as stated below.	

**PERMITTED USES**  
\*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.

- Single Family dwellings of a permanent nature and accessory uses
- All uses permitted under an R2 zone
- Private recreational facilities (for sole use of residents of the immediate neighborhood)
- Neighborhood and pocket parks
- Bikeways and pedestrian trails
- Temporary sales offices and model homes
- Home occupations
- Open space

GARAGES/STREETS/PARKING			
Sidewalks	Limited	See specific site plans.	
Garages	3-car	10'x16' min	
	2-car	20'x20' min	
Streets	32' to 43.5' wide	Curb-to-curb; reference <i>Street Sections</i> .	
On-Street Parking	Yes	Conditions vary per street type.	



ACCESSORY USES			
Walls/Fences	6' high max	See specific site plans.	General list of requirements and restrictions.
Trellises	12' high max		
Pools and Spas	5' min	Water portion to rear or side PL, adjoining residential structure, or fence line; water located no closer than common PL between two homes. Pool and spa may not be located in front yard.	
Equipment	Pool, spa and fountain equipment allowed in side yard setback.		
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.	
Accessory Buildings	5' min setback from all property lines		

Master Development Plan superceded Sections 9.3.206 - 9.3.208.5. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.

The imagery conveys samples of the architectural character intended for these neighborhoods.

EXHIBIT "B-4"



# Residential Land Use Development Standards

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / PRODUCT SITE PLAN PROTOTYPE
	KEY MAP	MFA	STANDARD	NOTES	ARCHITECTURE
HIGH DENSITY RESIDENTIAL		<b>DESIGNATION</b> Planning Area(s) 19, 27 (portion) Zone District R3 GP Density Range 15.1 - 25.0 du/ac High Density Residential Dwelling Units 186 max Land Use The use of land designated MFA shall comply with those uses listed under Permitted Uses (see bottom-left).			
		<b>BUILDING INTENSITY</b> Minimum Lot Area 90,000 sqft Minimum Lot Width 300' Minimum Lot Depth 300' Maximum Coverage 60% Includes all buildings, accessory and structures. Maximum Height 45' Open Space 10% min Includes common open space and private recreation areas.			
	<b>DESCRIPTION</b> MFA is a neighborhood of high density multi-family attached homes, intended to provide housing types such as townhomes, condominiums and apartments. These neighborhoods anchor opposite ends of the Linear Park and are located adjacent to the village commercial center where both uses can support each other.	<b>BUILDING SETBACKS</b> All setbacks measured from PL. Front Yard (Collector) 8' min/6' min To living area/To projections Front Yard (Interior) 8' min/6' min To living area/To projections Side Yard 24' min*/5' min *Building separation/To interior street Rear Yard N/A			
	<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles. - Multi-Family dwellings of a permanent nature and accessory uses (For Sale or For Rent) - All uses permitted under an R3 zone - Private recreational facilities (for sole use of residents of the immediate neighborhood) - Neighborhood and pocket parks - Bikeways and pedestrian trails - Temporary sales offices and model homes - Home occupations - Open space	<b>GARAGES/STREETS/PARKING</b> Sidewalks Varies Reference Street Sections Garages 1-car min/1-bdrm unit 10'x18' min 2-car 20'x20' min or tandem 10'x30' min Streets (Interior) 24' wide min Landscape area along side yard conditions. Parking 1.5 spaces/unit min Includes street, parking lots and carports.			
		<b>ACCESSORY USES</b> General list of requirements and restrictions. Walls/Fences 6'-8' high max* *Subject to Noise Study; no walls allowed along Community Collector roads. Trellises 12' high max Pools and Spas 5' min Water portion to adjoining residential structure or fence lines. Equipment Pool, spa and fountain equipment allowed in open space; equipment shall be screened with landscaping. Covered Structures 12' high max Limited to structures and accessory buildings as shown and included in site plan review. Accessory Buildings Service, Trash and Utility Areas All service, trash and storage areas shall be screened and gated. Utilities above ground shall be screened with landscaping.			
	MFA LAND USE TOTAL AREA 12.32 acres				

This site is subject to site plan review/conditional use permit in accordance with City of Clovis requirements. See Individual Project Approval Process under the Administration and Implementation Section of this handbook.



# Residential Land Use Development Standards

MIXED USE

DETAIL	RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE
	<b>KEY MAP</b>	<b>MFA</b>	<b>STANDARD</b>	<b>NOTES</b>
	<p style="text-align: center;">LAND USE TOTAL AREA <b>7.18 acres</b></p>	<p><b>DESIGNATION</b></p> <p>Planning Area(s) 19                      Zone District R3                      GP Density Range 15.1-25.0 du/ac                      Dwelling Units 140 max.                      Land Use The use of land designated MFA shall comply with those uses listed under Permitted Uses (see bottom-left).</p> <p><b>BUILDING INTENSITY</b></p> <p>Minimum Lot Area 90,000 sqft                      Minimum Lot Width 300'                      Minimum Lot Depth 300'                      Maximum Coverage 60%                      Maximum Height 45'                      Open Space 10% min</p>	<p>High Density Residential</p> <p>Includes all buildings, accessory and structures.</p> <p>Includes common open space and private recreation areas.</p>	<p><b>ARCHITECTURE</b></p>
	<p><b>DESCRIPTION</b></p> <p>MFA is a neighborhood of high density multi-family attached homes, intended to provide housing types such as townhomes, condominiums and apartments. These neighborhoods anchor opposite ends of the Linear Park and are located adjacent to the village commercial center where both uses can support each other.</p>	<p><b>BUILDING SETBACKS</b></p> <p>Front Yard (Collector) 8' min/6' min                      Front Yard (Interior) 8' min/6' min                      Side Yard 24' min / 5' min                      Rear Yard N/A</p>	<p>All setbacks measured from PL.</p> <p>To living area/To projections                      To living area/To projections                      Building separation/To interior street</p>	<p>This site is subject to site plan review/conditional use permit in accordance with City of Clevis requirements. See Individual Project Approval Process under the Administration and Implementation Section of this handbook.</p>
	<p><b>PERMITTED USES</b></p> <p>*All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles.</p> <ul style="list-style-type: none"> <li>- Multi-Family dwellings of a permanent nature and accessory uses (For Sale or For Rent)</li> <li>- All uses permitted under an R3 zone</li> <li>- Private recreational facilities (for sole use of residents of the immediate neighborhood)</li> <li>- Neighborhood and pocket parks</li> <li>- Bikeways and pedestrian trails</li> <li>- Temporary sales offices and model homes</li> <li>- Home occupations</li> <li>- Open space</li> </ul>	<p><b>GARAGES/STREETS/PARKING</b></p> <p>Sidewalks Varies                      Garages 1-car min/1-bdrm unit                      2-car                      Streets (Interior) 24' wide min                      Parking 1.5 spaces/unit min</p>	<p>Reference Street Sections:                      10'x18' min                      20'x20' min or tandem 10'x39' min                      Landscape area along side yard conditions.                      Includes street, parking lots and carports.</p>	<p style="color: red; font-size: 2em;">ACREAGE</p>
		<p><b>ACCESSORY USES</b></p> <p>Walls/Fences 6'-8' high max                      Trellises 12' high max                      Pools and Spas 5' min                      Equipment Pool, spa and fountain equipment allowed in open space; equipment shall be screened with landscaping.                      Covered Structures 12' high max                      Accessory Buildings Limited to structures and accessory buildings as shown and included in site plan review.                      Service, Trash and Utility Areas All service, trash and storage areas shall be screened and gated. Utilities above ground shall be screened with landscaping.</p>	<p>General list of requirements and restrictions.                      *Subject to Noise Study; no walls allowed along Community Collector roads.                      Water portion to adjoining residential structure or fence lines.</p>	
		<p>Master Development Plan supersedes Sections 9.3.209 - 9.3.209.5. Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.</p>		<p>The Imagery conveys samples of the architectural character intended for these neighborhoods.</p>



# Residential Land Use Development Standards

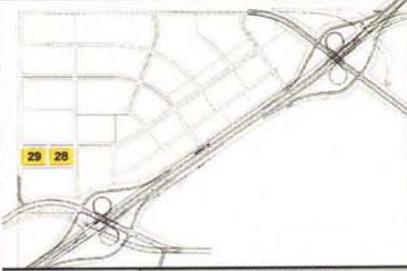
## HIGH DENSITY RESIDENTIAL

DETAIL

RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / PRODUCT SITE PLAN PROTOTYPE
KEY MAP	<b>MFA</b>	STANDARD	NOTES	ARCHITECTURE
	<b>DESIGNATION</b> Planning Area(s) 19, 27 Zone District R3 GP Density Range 15.1 - 25.0 du/ac Dwelling Units 452 max Land Use The use of land designated MFA shall comply with those uses listed under Permitted Uses (see bottom-left).			
<b>MFA</b> LAND USE TOTAL AREA 23.01 ac/188	<b>BUILDING INTENSITY</b> Minimum Lot Area 90,000 sqft Minimum Lot Width 300' Minimum Lot Depth 300' Maximum Coverage 60% Maximum Height 45' Open Space 10% min			
<b>DESCRIPTION</b> MFA is a neighborhood of high density multi-family attached homes, intended to provide housing types such as townhomes, condominiums and apartments. These neighborhoods anchor opposite ends of the Linear Park and are located adjacent to the village commercial center where both uses can support each other.	<b>BUILDING SETBACKS</b> Front Yard (Collector) 8' min/6' min Front Yard (Interior) 8' min/6' min Side Yard 24' min/5' min Rear Yard N/A	<b>All setbacks measured from PL.</b> To living area/To projections To living area/To projections *Building separation/To interior street		<div style="border: 1px solid black; padding: 10px; text-align: center;"> <p>This site is subject to site plan review/conditional use permit in accordance with City of Clovis requirements. See Individual Project Approval Process under the Administration and Implementation Section of this handbook.</p> </div>
<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, including on-site storage of recreational vehicles. - Multi-Family dwellings of a permanent nature and accessory uses (For Sale or For Rent) - All uses permitted under an R3 zone - Private recreational facilities (for sole use of residents of the immediate neighborhood) - Neighborhood and pocket parks - Bikeways and pedestrian trails - Temporary sales offices and model homes - Home occupations - Open space	<b>GARAGES/STREETS/PARKING</b> Sidewalks Varies Garages 1-car min/1-bdrm unit 2-car Streets (Interior) 24' wide min Parking 1.5 spaces/unit min	<b>Reference Street Sections.</b> 10'x18' min 20'x20' min or tandem 10'x39' min Landscape area along side yard conditions. Includes street, parking lots and carports.		
	<b>ACCESSORY USES</b> Walls/Fences 6'-8' high max* Trellises 12' high max Pools and Spas 5' min Equipment Pool, spa and fountain equipment allowed in open space; equipment shall be screened with landscaping. Covered Structures 12' high max Accessory Buildings Limited to structures and accessory buildings as shown and included in site plan review. Service, Trash and Utility Areas All service, trash and storage areas shall be screened and gated. Utilities above ground shall be screened with landscaping.	<b>General list of requirements and restrictions.</b> *Subject to Noise Study; no walls allowed along Community Collector roads. Water portion to adjoining residential structure or fence lines.		
	Master Development Plan supersedes Sections 9.3.209 - 9.3.209.5. Refer to General Design Standards and Guidelines for additional requirements of the end of this Section.		The imagery conveys samples of the architectural character intended for these neighborhoods.	



# Non-Residential Land Use Development Standards

DETAIL	NON-RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / PRODUCT SITE PLAN PROTOTYPE	
MIXED USE	KEY MAP	LIVE/WORK	STANDARD	NOTES	ARCHITECTURE	
		<b>DESIGNATION</b> Planning Area(s) Zone District GP Density Range Dwelling Units Land Use	28, 29 PCC 8.4 du/ac max 58 max The use of land designated Live/Work shall comply with those uses listed under Permitted Uses (see bottom-left).			
	<b>BUILDING INTENSITY</b> Minimum F.A.R. Maximum F.A.R. Minimum Work Area Building Coverage Maximum Height Open Space	1200 sqft/unit 3200 sqft/unit 600 sqft/unit 60% 45' 15% min		Includes all buildings, accessory and structures. *3-story maximum Includes plaza spaces and common open space.		
	<b>LIVE/WORK</b>	<b>LAND USE TOTAL AREA</b> 6.92 acres	<b>BUILDING SETBACKS FROM R.O.W.</b> Front Yard (Arterial) Front Yard (Collector) Front Yard (Main St) Side Yard Rear Yard	10' min/8' min 8' min/6' min 0' or 8' max* 0' or 8' min* N/A	All setbacks measured from P.L. To building/To projections *8' max for outdoor eating/seating *8' min building separation	<p style="text-align: center;">This site is subject to site plan review in accordance with City of Ciclovis requirements. See Individual Project Approval Process under the Administration and Implementation Section of this handbook.</p>
	<b>DESCRIPTION</b> Live/Work is a neighborhood of higher density "Main Street" units, designed to facilitate the combination of living convenience with boutique shop or home/office work. These units are integral to the social activities and small retail/service needs of the village commercial center. Private living is accessed through the rear (internally), while the public accesses small retail and service through the shop's street front.	<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited, unless they are similar in type/size as conveyed in the commercial use description above, and are subject to site plan review approval.	<b>GARAGES/STREETS/PARKING</b> Sidewalks Garages Streets (Interior) Guest Parking Work Parking	Varies 1-car 2-car 24' wide min 1.5 spaces/unit min 2.5 spaces/unit min	Reference Street Sections. 10'x18' min 20'x20' min or tandem 10'x39' min Landscape area along side yard conditions. Includes street and parking lots. Includes street and parking lots.	
		<ul style="list-style-type: none"><li>- Single Family dwellings of a permanent nature and accessory uses</li><li>- Multi-Family dwellings of a permanent nature and accessory uses</li><li>- Private recreational facilities (for sole use of residents of the immediate neighborhood)</li><li>- Neighborhood and pocket parks</li><li>- Plazas</li><li>- Pedestrian trails</li><li>- Temporary sales offices and model homes</li><li>- Home occupations</li><li>- Art galleries and artists' supply stores</li><li>- Boutique retail such as bookstores, flower shops, clothing/shoe/accessory stores, music stores, stationary/craft stores, gift shops, boutique retail, etc.</li><li>- Professional offices</li><li>- In-home day care</li><li>- Barber and beauty shops</li><li>- Photography studios</li><li>- Open space</li></ul>	<b>ACCESSORY USES</b> Walls/Fences Trellises/Awnings Equipment Covered Structures Accessory Buildings Service, Trash and Utility Areas	6' high max 12' high max Fountain equipment allowed in open space; equipment shall be screened with landscaping. Covered structures and building additions are not allowed. All service, trash and storage areas shall be screened and gated. Utilities above ground shall be screened with landscaping.	General list of requirements and restrictions.	
			Refer to General Design Standards and Guidelines for additional requirements at the end of this section.		The Imagery conveys samples of the architectural character intended for these Live/Work neighborhoods.	



# Non-Residential Land Use Development Standards

MIXED USE

DETAIL	NON-RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS	IMAGERY / PRODUCT SITE PLAN PROTOTYPE																		
		<b>LIVE/WORK</b>	<b>STANDARD</b> <b>NOTES</b>	<b>ARCHITECTURE</b>																		
	<p><b>KEY MAP</b></p>	<p><b>DESIGNATION</b></p> <table border="1"> <tr><td>Planning Area(s)</td><td>28, 29</td><td></td></tr> <tr><td>Zone District</td><td>PCC</td><td></td></tr> <tr><td>GP Density Range</td><td>8.4 du/ac max</td><td>Mixed Use</td></tr> <tr><td>Dwelling Units</td><td>58 max</td><td></td></tr> <tr><td>Land Use</td><td colspan="2">The use of land designated Live/Work shall comply with those uses listed under Permitted Uses (see bottom-left).</td></tr> </table>	Planning Area(s)	28, 29		Zone District	PCC		GP Density Range	8.4 du/ac max	Mixed Use	Dwelling Units	58 max		Land Use	The use of land designated Live/Work shall comply with those uses listed under Permitted Uses (see bottom-left).						
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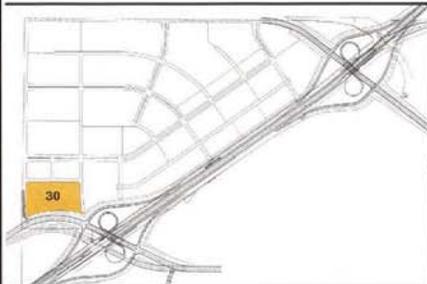


# Non-Residential Land Use Development Standards

MIXED USE

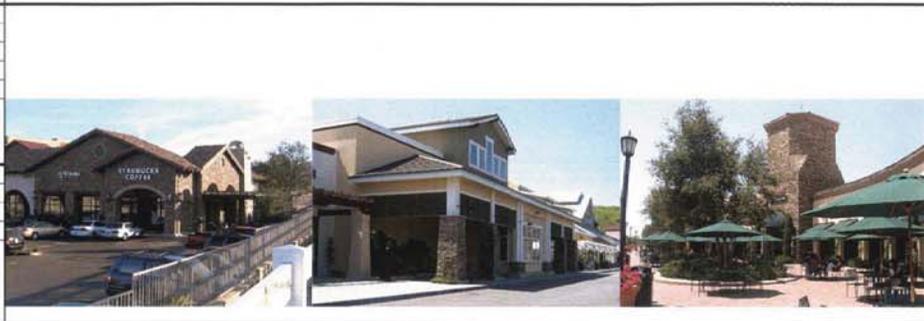
DETAIL

NON-RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / SITE PLAN PROTOTYPE
KEY MAP	COMMERCIAL	STANDARD	NOTES	ARCHITECTURE



COMMERCIAL	LAND USE TOTAL AREA
	13.28 acres

DESIGNATION		
Planning Area(s)	30	
Zone District	PCC	
GP Density Range	N/A	Mixed Use
Floor Area Ratio	0.35	
Land Use	The use of land designated Commercial shall comply with those uses listed under Permitted Uses (see bottom-left).	
BUILDING INTENSITY		
Building Coverage	35%	
Building Separation	0' or 20' min	
Maximum Height	45'	*2-story maximum
Open Space	15% min	Includes plaza spaces and common open space.



**DESCRIPTION**  
 Commercial is a village commercial center, designed to provide localized retail and service uses to the Harlan Ranch community and the local surrounding area. This area permits commercial uses that will enhance and support the "Main Street" corridor by allowing smaller retail services and boutique shops facing the Live/Work component. Typical larger commercial retail services and junior big boxes are allowed within the site separate from the "Main Street" environment, unless those goods and services can appropriately and purposefully anchor this corridor.

BUILDING SETBACKS FROM R.O.W.		
From Arterial	12' min/8' min	All setbacks measured from PL. To building/To projections
From Main Street	0' or 8' max*	*8 max for outdoor eating/seating
From Collector	12' min/8' min	To building/To projections
From Interior Street	10' min/6' min	
From Property Line	12' min	

**PERMITTED USES**  
 \*All uses not specifically identified in the list to the right are prohibited, unless they are similar in type/size as conveyed in the commercial use description above, and are subject to site plan review approval.

For development permitted on "Main Street":

- Ice Cream/Coffee/Bakery shops
- Wine shop
- Newsstand
- Restaurants/Bar/Lounge
- Plazas
- Pedestrian trails
- Art galleries and artists' supply stores
- Retail such as bookstores, flower shops, clothing/shoe/accessory stores, music stores, stationary/craft stores, gift shops, toy stores, boutique retail, etc.
- Small repair shops such as shoe, watch, etc.
- Childcare centers
- Barber and beauty shops
- Home furnishing stores
- Internet café
- Photography studios
- Mailing stores (packing and wrapping)
- Open space

For development permitted, in addition to uses on "Main Street", within Commercial site:

- Supermarket/Drug store
- Financial institutions
- Liquor stores and convenience stores
- Video/Audio stores
- Retail such as sports goods stores, pet stores, garden stores, home improvement stores, etc.
- Specialty stores
- Athletic/Health club

STREETS/PARKING		
Sidewalks	Varies	Reference <i>Street Sections</i> .
Streets (Interior)	24' wide min	Landscape area along building side conditions.
Retail/Service Parking	1 space/225 sqft	For Gross F.A.R.
Restaurant Parking	12 spaces/1000 sqft	
Landscaping	1 tree/6 prkg spaces*	*For parking lots.
ACCESSORY USES		
Walls/Fences	8' high max*	*No walls allowed along Arterial or "Main Street" roads.
Trellises/Awnings	12' high max	
Equipment	Fountain equipment allowed in open space; equipment shall be screened with landscaping.	
Service, Trash and Utility Areas	All service, trash and storage areas shall be screened and gated. Utilities above ground shall be screened with landscaping.	

Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.

The imagery conveys samples of the architectural character intended for this commercial center.

This site is subject to site plan review in accordance with City of Clovis requirements. See Individual Project Approval Process under the Administration and Implementation Section of this handbook.





# Non-Residential Land Use Development Standards

MIXED USE

DETAIL		NON-RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / SITE PLAN PROTOTYPE			
KEY MAP		<b>COMMUNITY REC CENTER</b>		STANDARD	NOTES	ARCHITECTURE			
		<b>DESIGNATION</b> Planning Area(s) 12 Zone District PCC GP Density Range N/A Mixed Use Floor Area Ratio 0.25 Land Use The use of land designated Community Recreation Center shall comply with those uses listed under Permitted Uses (see bottom-left).							
<table border="1"> <tr> <th>COMMUNITY RECREATION CENTER</th> <th>LAND USE TOTAL AREA</th> </tr> <tr> <td></td> <td>4.65 acres</td> </tr> </table>		COMMUNITY RECREATION CENTER	LAND USE TOTAL AREA		4.65 acres		<b>BUILDING INTENSITY</b> Building Coverage 25% Building Separation 0' or 20' min Maximum Height 35' Open Space Site specific to use		*With the exception of a vertical architectural component, 45' max.
COMMUNITY RECREATION CENTER	LAND USE TOTAL AREA								
	4.65 acres								
<b>DESCRIPTION</b> Community Recreation Center is a community-serving facility, designed to provide a variety of recreational activities and amenities to the Harlan Ranch community. Facilities include a community recreation building, pool, open grass fields, volleyball courts, open amphitheater, trails, community gardens, tot-lot playground, and other such recreational amenities.		<b>BUILDING SETBACKS FROM R.O.W.</b> From Collector 14' min/12' min From Interior Street 10' min/6' min From Property Line 12' min		All setbacks measured from PL. To building/To projections		<div style="border: 1px solid black; padding: 10px; text-align: center;"> <p>Refer to the Community Recreation Center site plan design concept located under the recreation component of the Community Design Development Standards Section of this handbook. This site is subject to site plan review in accordance with City of Clovis requirements.</p> </div>			
<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited. <ul style="list-style-type: none"> <li>- Community recreation building</li> <li>- Active uses such as basketball courts, volleyball courts, playground equipment, etc.</li> <li>- Passive uses such as seating areas, open field space, picnic areas, etc.</li> <li>- Community gardens</li> <li>- Small amphitheater</li> <li>- Outdoor BBQ/Fireplace</li> <li>- Pool/Spa facilities</li> <li>- Art sculpture</li> <li>- Outdoor festivals/fairs (temporary)</li> <li>- Plazas</li> <li>- Bikeways and pedestrian trails</li> <li>- Open space</li> </ul>		<b>STREETS/PARKING</b> Sidewalks Varies Streets (Interior) 24' wide min Rec Center Parking 1 space/200 sqft Landscaping 1 tree/6 prkg spaces*		Reference Street Sections. Landscape area along building side conditions. *For parking lots.					
		<b>ACCESSORY USES</b> Walls/Fences 8' high max Trellises 12' high max Equipment Fountain equipment allowed in open space; equipment shall be screened with landscaping. Service, Trash and Utility Areas All service, trash and storage areas shall be screened and gated. Utilities above ground shall be screened with landscaping.		<b>General list of requirements and restrictions.</b> For walls surrounding private recreation facility.					
		Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.				The Imagery conveys samples of the architectural character intended for this community recreation center. <div style="float: right; text-align: right;"> </div>			

DETAIL		NON-RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / SITE PLAN PROTOTYPE			
KEY MAP		<b>COMMUNITY REC CENTER</b>		STANDARD	NOTES	ARCHITECTURE			
		<b>DESIGNATION</b> Planning Area(s) 12 Zone District PCC GP Density Range N/A Mixed Use Floor Area Ratio 0.25 Land Use The use of land designated Community Recreation Center shall comply with those uses listed under Permitted Uses (see bottom-left).							
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COMMUNITY RECREATION CENTER	LAND USE TOTAL AREA								
	4.65 acres								
<b>DESCRIPTION</b> Community Recreation Center is a community-serving facility, designed to provide a variety of recreational activities and amenities to the Harlan Ranch community. Facilities include a community recreation building, pool, open grass fields, volleyball courts, open amphitheater, trails, community gardens, tot-lot playground, and other such recreational amenities.		<b>BUILDING SETBACKS FROM R.O.W.</b> From Collector 14' min/12' min From Interior Street 10' min/6' min From Property Line 12' min		All setbacks measured from PL. To building/To projections		<div style="border: 1px solid black; padding: 10px; text-align: center;"> <p>Refer to the Community Recreation Center site plan design concept located under the recreation component of the Community Design Development Standards Section of this handbook. This site is subject to site plan review in accordance with City of Clovis requirements.</p> </div>			
<b>PERMITTED USES</b> *All uses not specifically identified in the list to the right are prohibited. <ul style="list-style-type: none"> <li>- Community recreation building</li> <li>- Active uses such as basketball courts, volleyball courts, playground equipment, etc.</li> <li>- Passive uses such as seating areas, open field space, picnic areas, etc.</li> <li>- Community gardens</li> <li>- Small amphitheater</li> <li>- Outdoor BBQ/Fireplace</li> <li>- Pool/Spa facilities</li> <li>- Art sculpture</li> <li>- Outdoor festivals/fairs (temporary)</li> <li>- Plazas</li> <li>- Bikeways and pedestrian trails</li> <li>- Open space</li> </ul>		<b>STREETS/PARKING</b> Sidewalks Varies Streets (Interior) 24' wide min Rec Center Parking 1 space/200 sqft Landscaping 1 tree/6 prkg spaces*		Reference Street Sections. Landscape area along building side conditions. *For parking lots.					
		<b>ACCESSORY USES</b> Walls/Fences 8' high max Trellises 12' high max Equipment Fountain equipment allowed in open space; equipment shall be screened with landscaping. Service, Trash and Utility Areas All service, trash and storage areas shall be screened and gated. Utilities above ground shall be screened with landscaping.		<b>General list of requirements and restrictions.</b> For walls surrounding private recreation facility.					
		Refer to General Design Standards and Guidelines for additional requirements at the end of this Section.				The Imagery conveys samples of the architectural character intended for this community recreation center. <div style="float: right; text-align: right;"> </div>			



# Non-Residential Land Use Development Standards

SCHOOL

DETAIL	NON-RESIDENTIAL LAND USE	LAND USE / PRODUCT	DEVELOPMENT STANDARDS		IMAGERY / 3D MODEL SITE PLAN									
KEY MAP		<b>SCHOOL</b>	STANDARD	NOTES	ARCHITECTURE									
<table border="1"> <tr> <td colspan="2"><b>DESIGNATION</b></td> </tr> <tr> <td>Planning Area(s)</td> <td>6</td> </tr> <tr> <td>Zone District</td> <td>PF</td> </tr> <tr> <td>GP Density Range</td> <td>N/A</td> </tr> <tr> <td>Floor Area Ratio</td> <td>--</td> </tr> <tr> <td>Land Use</td> <td>The use of land designated School shall comply with those uses listed under Permitted Uses (see bottom-left).</td> </tr> </table>			<b>DESIGNATION</b>			Planning Area(s)	6	Zone District	PF	GP Density Range	N/A	Floor Area Ratio	--	Land Use
<b>DESIGNATION</b>														
Planning Area(s)	6													
Zone District	PF													
GP Density Range	N/A													
Floor Area Ratio	--													
Land Use	The use of land designated School shall comply with those uses listed under Permitted Uses (see bottom-left).													
<table border="1"> <tr> <td><b>SCHOOL</b></td> <td><b>LAND USE TOTAL AREA</b></td> </tr> <tr> <td></td> <td>16.17 acres</td> </tr> </table>	<b>SCHOOL</b>	<b>LAND USE TOTAL AREA</b>		16.17 acres	<p><b>DESCRIPTION</b></p> <p>School is a public/institutional designation, that provides for the development of an elementary school and recreational facilities to serve the educational needs of the Harlan Ranch community and the surrounding local area.</p>									
<b>SCHOOL</b>	<b>LAND USE TOTAL AREA</b>													
	16.17 acres													
<p><b>PERMITTED USES</b></p> <p>*All uses not specifically identified in the list to the right are prohibited.</p> <ul style="list-style-type: none"> <li>- Elementary school</li> <li>- Active uses such as basketball courts, volleyball courts, playground equipment, baseball fields, football/soccer fields, etc.</li> <li>- Small amphitheater</li> <li>- Plazas</li> <li>- Bikeways and pedestrian trails</li> <li>- Open space</li> </ul>														





# Non-Residential Land Use Development Standards

DETAIL

PUBLIC FACILITY

NON-RESIDENTIAL LAND USE      LAND USE / PRODUCT      DEVELOPMENT STANDARDS      IMAGERY / SITE PLAN PROTOTYPE

KEY MAP

**PUBLIC FACILITY**      STANDARD      NOTES

ARCHITECTURE



<b>DESIGNATION</b>		
Planning Area(s)	18	
Zone District	PF	
GP Density Range	N/A	Public Facility
Floor Area Ratio	0.2	
Land Use	The use of land designated Public Facility shall comply with those uses listed under Permitted Uses (see bottom-left).	

<b>BUILDING INTENSITY</b>		
Building Coverage	20% max	
Building Separation	0' or 20' min	
Maximum Height	35'	*With the exception of a vertical architectural component, 45' max.
Open Space	20% min	Includes plaza spaces and common open space.

<b>PUBLIC FACILITY</b>	<b>LAND USE TOTAL AREA</b>
	4.70 acres

**DESCRIPTION**  
Public Facility is a designation that provides an area for the location of public utilities and other such public-serving uses as a transit center facility. Prior to the implementation of a transit facility, a feasibility study shall be explored to determine the feasibility of supporting such a use.

<b>BUILDING SETBACKS FROM R.O.W.</b>		
All setbacks measured from PL.		
From Arterial	20' min/15' min	To building/To projections
From Interior Street	10' min/6' min	To building/To projections
From Property Line	10' min	

**PERMITTED USES**  
\*All uses not specifically identified in the list to the right are prohibited, including permanent on-site storage of all vehicle types.

- Public utilities not limited to: water tanks, fiber optic utilities, utility buildings/stations, satellite dishes, etc.
- Parking lot
- Public transit center
- Bus stops
- Plazas
- Bikeways and pedestrian trails
- Open space

<b>STREETS/PARKING</b>		
Sidewalks	Limited	TBD
Streets (Interior)	24' wide min	Curb-to-curb
Parking	Limited	TBD
Landscaping	1 tree/12 prkg spaces*	*For parking lots.

<b>ACCESSORY USES</b>		
General list of requirements and restrictions.		
Walls/Fences	8' high max	
Trellises	12' high max	
Equipment	Fountain equipment allowed in open space; equipment shall be screened with landscaping.	
Service, Trash and Utility Areas	All service, trash and storage areas shall be screened and gated. Utilities above ground shall be screened with landscaping.	

This site is subject to site plan review in accordance with City of Clovis requirements. See Individual Project Approval Process under the Administration and Implementation Section of this handbook.





# General Design Standards and Guidelines

SECTION

GENERAL DESIGN STANDARDS AND GUIDELINES

GENERAL DESIGN STANDARDS AND GUIDELINES FOR RESIDENTIAL AND NON-RESIDENTIAL PLANNING AREAS THROUGHOUT THE HARLAN RANCH COMMUNITY

**PURPOSE AND COMPLIANCE**

The purpose of this Section is to establish qualitative design standards and guidelines to further ensure that the quality and character of the Harlan Ranch community is upheld. Site design, architectural design and landscape design should be integrated to create a unified community identity. Harlan Ranch shall promote visual diversity along the streetscape and promote the use of street-oriented architecture. The following standards and guidelines address site planning and landscape, walls and fences, lighting, signage, and service, trash, utility, and storage areas for residential and non-residential areas within the Harlan Ranch.

**RESIDENTIAL PLANNING AREAS**

**NON-RESIDENTIAL PLANNING AREAS**

**SITE PLANNING AND LANDSCAPE**

- (1) Forward architecture shall place entries, windows, front doors, and living areas towards the street.
- (2) Varying building setbacks should be integrated, so not to contribute to a repetitious and monotonous streetscape.
- (3) Neighborhoods should provide connections to the community parks and trails network.
- (4) Wrap around architecture is encouraged for use on buildings located on corner lots.
- (5) Architecture should integrate interactive elements such as porches, verandas, porte-cochères, balconies, decks, porticos, trellises, arbors, and courtyards toward the street.
- (6) Buildings shall relate to the surrounding development and streetscapes appropriately to create a cohesive visual identity.
- (7) Multi-family buildings and attached housing products should be sited along the streetscape with parking lots internalized to reduce the visual impact of parking.
- (8) Long, unbroken facades and box-like forms shall be avoided. Landscaping should be used to create aesthetic building massing conditions and screening.

- (1) Buildings should be placed along roads to provide visual interest and oriented so that public access or windows face the road.
- (2) Commercial street corners should be defined by buildings that set the tone for the entire block, enrich the streetscape and reduce the impact of parking.
- (3) Parking areas should be screened from the public right-of-way. Larger parking areas should provide pedestrian walkways to connect buildings and "desire" lines.
- (4) Parking lots tend to create gaps along the street edge and interrupt activities along the street and therefore should be located in ways that minimize their visibility from the street. Large continuous surface parking lots should be avoided.
- (5) Pedestrian connections to the community parks and trails network should be provided.
- (6) Building should be sited to create spaces for public plazas, seating areas and landscaping.
- (7) Accent landscaping such as specimen trees, colorful perennial shrubs, groundcover, tall grasses and flowers should be used at project entryways.

**WALLS AND FENCES**

- (1) The use of walls along roads should be minimized. Where necessary, walls should be blended into the adjacent landscape otherwise replaced by corner architecture.
- (2) Appropriate materials for walls include stone, stone veneer, split/face precision block, tubular steel, wood fencing, concrete, and wrought iron.
- (3) Open cul-de-sacs, view fencing, variable wall alignments and heights, landscaping, and pilasters should be integrated into the wall design in order to avoid long, uninterrupted stretches of walls.
- (4) Where appropriate, buildings should be sited in such a way that they serve the function of walls.
- (5) Private walls used to separate individual residential lots shall be a maximum of six feet in height.

- (1) The use of walls along roads should be minimized. Where necessary, walls should be blended into the adjacent landscape otherwise replaced by corner architecture.
- (2) Appropriate materials for walls include stone, stone veneer, split/face precision block, tubular steel, concrete, and wrought iron.
- (3) Open cul-de-sacs, view fencing, variable wall alignments and heights, landscaping, and pilasters should be integrated into the wall design in order to avoid long, uninterrupted stretches of walls.
- (4) Where appropriate, buildings should be sited in such a way that they serve the function of walls.

**LIGHTING**

- (1) Exterior lighting shall be shielded from projection off-site and designed to be compatible with the architectural character and landscape design of the home.
- (2) Illumination levels shall be appropriate and compatible with the purpose, ambient levels and color of the surrounding neighborhood.

- (1) Lighting fixtures and support structures should be consistent with the architectural character and design of the project.
- (2) Illumination levels shall be appropriate to the surrounding environment and purpose.
- (3) Architectural features, roof lines, pedestrian routes, and building entrances should be illuminated.
- (4) Overly bright or glaring lights shall be avoided.
- (5) The use of bollard lights in pedestrian areas and crossing points shall be encouraged.

**SIGNAGE**

- (1) Signage for individual neighborhoods shall follow the design standards for Neighborhood Entryways as proposed under the Landscape Development Standards of this handbook.
- (2) No signage in addition to that proposed under the Landscape Development Standards of this handbook is allowed, with the exception of multi-family attached project areas.
- (3) Signs should be used only where permitted in an understated manner, emphasizing an image of permanence and quality.
- (4) Signs within a project should use a uniform scheme of colors, materials and style compatible with the overall community theme and character.

- (1) Signage should be used only where necessary in an understated manner, emphasizing an image of permanence and quality.
- (2) Signs should be distinctive, eye-catching and simple, avoiding cluttered design and excess advertising.
- (3) Signs within a project should use a uniform scheme of colors, materials and styles.
- (4) Tenant identification signs should be consistently located and integrated into the architectural design of the building entry.
- (5) Desirable signs include indirectly lit signs, halo lighting, channeled letter signs, wall signs, awnings, and double-faced projecting or hanging signs along pedestrian walkways. Simple painted or raised letter signs are encouraged.
- (6) For additional sign standards refer to Section 9.4, Signs of the Clovis Municipal Code.

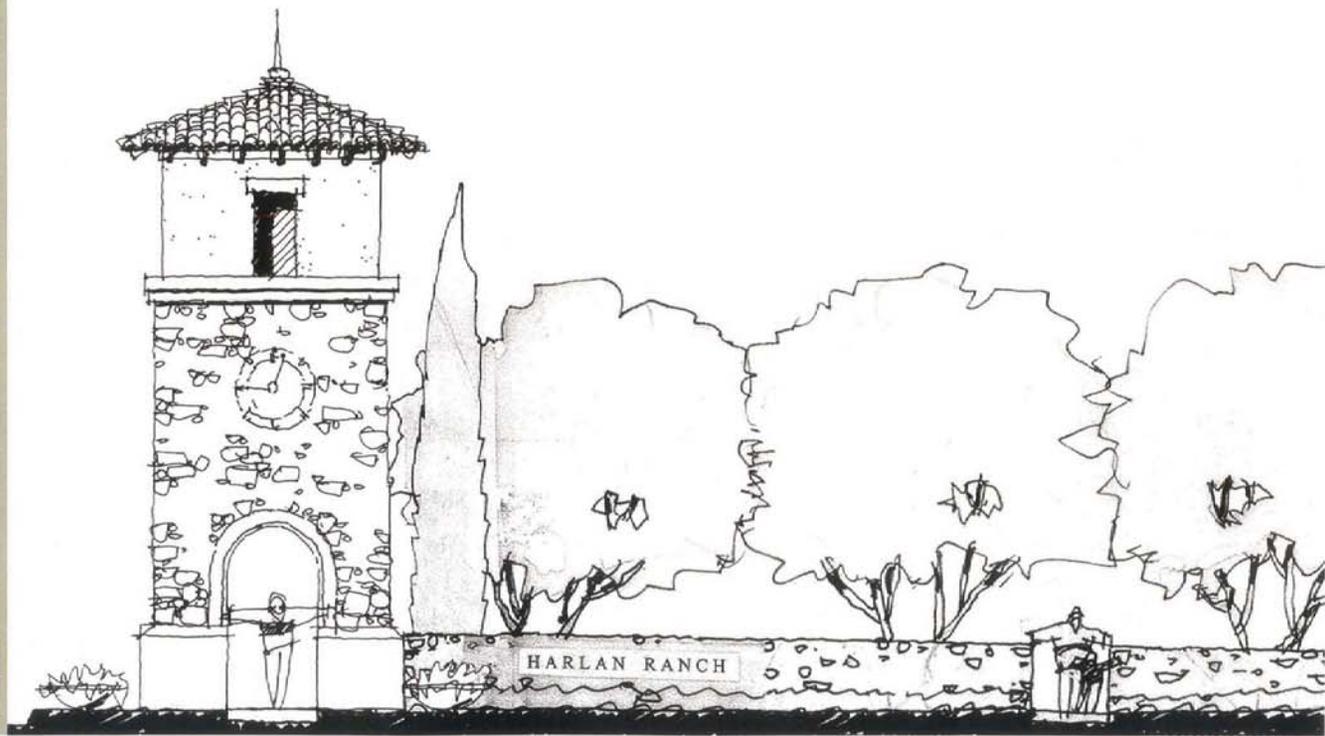
**SERVICE, TRASH, UTILITY, AND STORAGE AREAS**

- (1) Service, trash/recycling and storage areas for single family toters shall not be viewed from public areas.
- (2) Service, trash/recycling and storage areas for multi-family attached projects shall not be viewed from public areas and should be enclosed with walls. These enclosures are designed for architectural compatibility with the building, and screened with landscaping.
- (3) Transformers and other utility equipment located above ground shall be screened and incorporated into the landscape whenever possible.
- (4) On-site storage of recreational vehicles is prohibited.
- (5) All pool and spa equipment, and other electrical equipment visible from the public right-of-way shall be screened with landscaping.

- (1) Service, trash/recycling and storage areas should be located on the interior or rear yard of the site where feasible.
- (2) Service, trash/recycling and storage areas should be enclosed with walls. These enclosures should be designed for architectural compatibility and function with the building, and screened with landscaping.
- (3) Transformers and other utility equipment located above ground shall be screened and incorporated into the landscape whenever possible.
- (4) All electrical equipment visible from the public right-of-way shall be screened with landscaping.

Harlan Ranch  
A CLOVIS COMMUNITY

# ADMINISTRATION AND IMPLEMENTATION





# Master Development Plan Adoption

SECTION	MASTER DEVELOPMENT PLAN ADOPTION	PROCEDURES FOR AMENDING THE ADOPTED MASTER DEVELOPMENT PLAN AND PROCESSING SITE PLAN REVIEW APPLICATIONS WITHIN A MPC DISTRICT	
	<p><b>MASTER DEVELOPMENT PLAN ADMINISTRATION</b></p> <p>This Master Development Plan (MDP) represents a framework of development for the Harlan Ranch community. Implementation of the project requires the approval of this MDP handbook and any subsequent submittals over the life of the project's build-out. This Section sets forth the procedures needed to implement and administer the MDP, and those procedures required for its amendment, if necessary. Provisions for processing site plan review applications for multi-family, commercial and public facility projects within the Harlan Ranch, are also disclosed herein.</p> <p><b>IMPLEMENTATION</b></p> <p>The Harlan Ranch Master Development Plan will be implemented through the processing of this handbook and the tract maps, site plans, text discussions, and development standards contained herein or attached as a part of this submittal. Subsequent submittals may be required of the applicant to submit any of the following prior to the recordation of any final map, site plan review or building permit within a Master Planned Community (MPC) Overlay District:</p> <ol style="list-style-type: none"> <li>(1) Subsequent or concurrently processed conditional use permit application for residential planned unit developments;</li> <li>(2) Subsequent site plan review for those projects normally requiring site plan review other than single family residential;</li> <li>(3) Subsequent Planned Commercial Center zone request to finalize the development plans for commercial and live/work developments;</li> <li>(4) Proposed conditions, covenants and restrictions, if any;</li> <li>(5) Sign review; or</li> <li>(6) Architectural design guidelines.</li> </ol> <p>The city's approval of the MDP, shall constitute sufficient findings to justify any waivers, variances, exceptions or deviations set forth in the MDP to those provisions of the Clovis Municipal Code that would otherwise be required. Such waivers, variances, exceptions or deviations shall be deemed granted.</p>	<p><b>AMENDMENTS TO THE ADOPTED MASTER DEVELOPMENT PLAN</b></p> <p><b>PROCEDURE</b></p> <p>The development of the property shall comply to the development standards approved in this MDP. Amendments to this adopted MDP on by or on behalf of the property owner(s), or any proposal by the city, shall be filed with the Department of Planning and Development Services. The Planning and Development Services Director shall determine if the proposed modification is "minor" or "major", and the request or proposal shall be processed accordingly.</p> <p><b>Minor Modification.</b> A minor modification is a modification which is requested or agreed to by the property owner and which is intended to accomplish one or more of the following:</p> <ol style="list-style-type: none"> <li>(1) A change in the species of plant material proposed for the MPC District;</li> <li>(2) A lot line adjustment; or</li> <li>(3) Any other change or modification which does not change the basic intent of the MPC (floor plans, elevations, site elements, etc.).</li> </ol> <p>The Planning and Development Services Director shall process and make an administrative decision regarding all minor modifications. Appeals of the Planning and Development Services Director's determination regarding the modification shall be processed in accordance with Section 9.3.403.F of the Clovis Municipal Code.</p> <p><b>Major Modification.</b> A major modification includes any modification which does not qualify as a minor modification including adding property to an existing MPC District. A major modification shall be processed and reviewed by the Planning Commission and approved by the City Council in accordance with the procedure for rezone set forth in Section 9.3.400 of the Clovis Municipal Code.</p>	<p><b>PROCESS FOR SITE PLAN REVIEW APPLICATIONS WITHIN A MPC DISTRICT FOR MULTI-FAMILY/COMMERCIAL/PUBLIC FACILITY PROJECTS</b></p> <p>The individual project approval process requires the preparation of a site plan for the purpose of enabling the Planning and Development Services Department to make a finding that the proposed development is in conformity with the intent and purpose of the Master Development Plan and zoning requirements, and to guide the Building Inspection division of the Planning and Development Services Department in the issuance of permits. The Master Development Plan shall take the place of the preliminary development plan as described in the Multi-Family, Planned Commercial Center and Public Facility districts, and a site plan review shall be processed in accordance with the provisions of Section 9.3.408 of the Clovis Municipal Code prior to the issuance of building permits within these areas.</p>

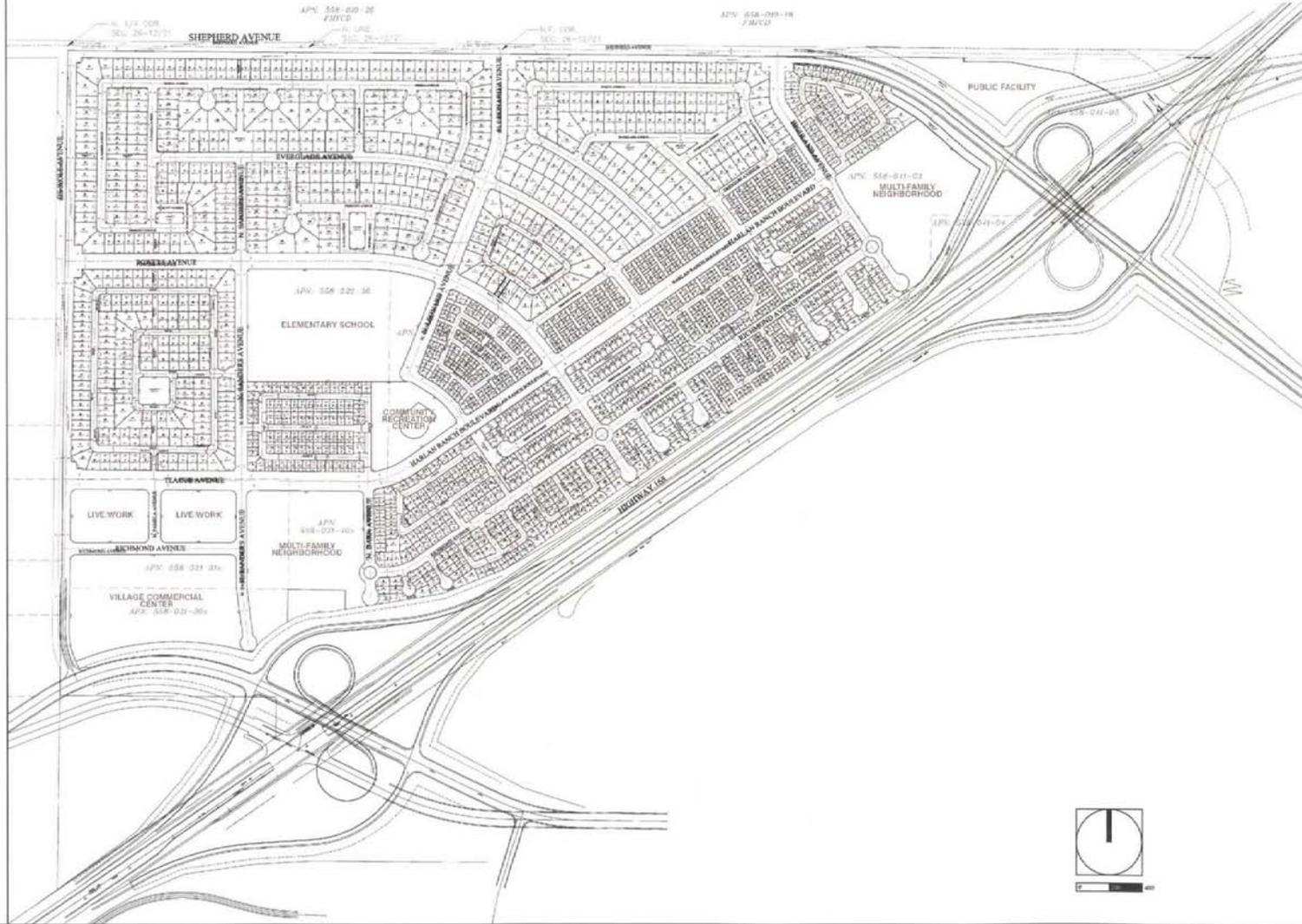


# Harlan Ranch Tentative Tract Map

SECTION

HARLAN RANCH TENTATIVE TRACT MAP

ADMINISTRATION AND IMPLEMENTATION





# Phasing, Infrastructure and Maintenance

## SECTION HARLAN RANCH DEVELOPMENT SCHEDULE

## HARLAN RANCH PHASING PLAN

### ADMINISTRATION AND IMPLEMENTATION

#### PHASING

Development within the Harlan Ranch community shall occur in four phases as recorded in the table below (see *Harlan Ranch Phasing Plan* to right). The project will be phased in a logical sequence. This is the anticipated development schedule based on current market conditions and may be subject to slight alterations, provided that utilities and public facilities are available to service the phase in question.

PHASE	BEGIN CONSTRUCTION	END CONSTRUCTION	RATE OF DEVELOPMENT
1	Summer 2005	December 2006	25-50 units/mo
2	January 2006	July 2007	25-50 units/mo
3	July 2006	December 2007	25-50 units/mo
4	July 2007	December 2008	Commercial
Rec Center	Summer 2005	December 2006	
School	March 2006	June 2007	

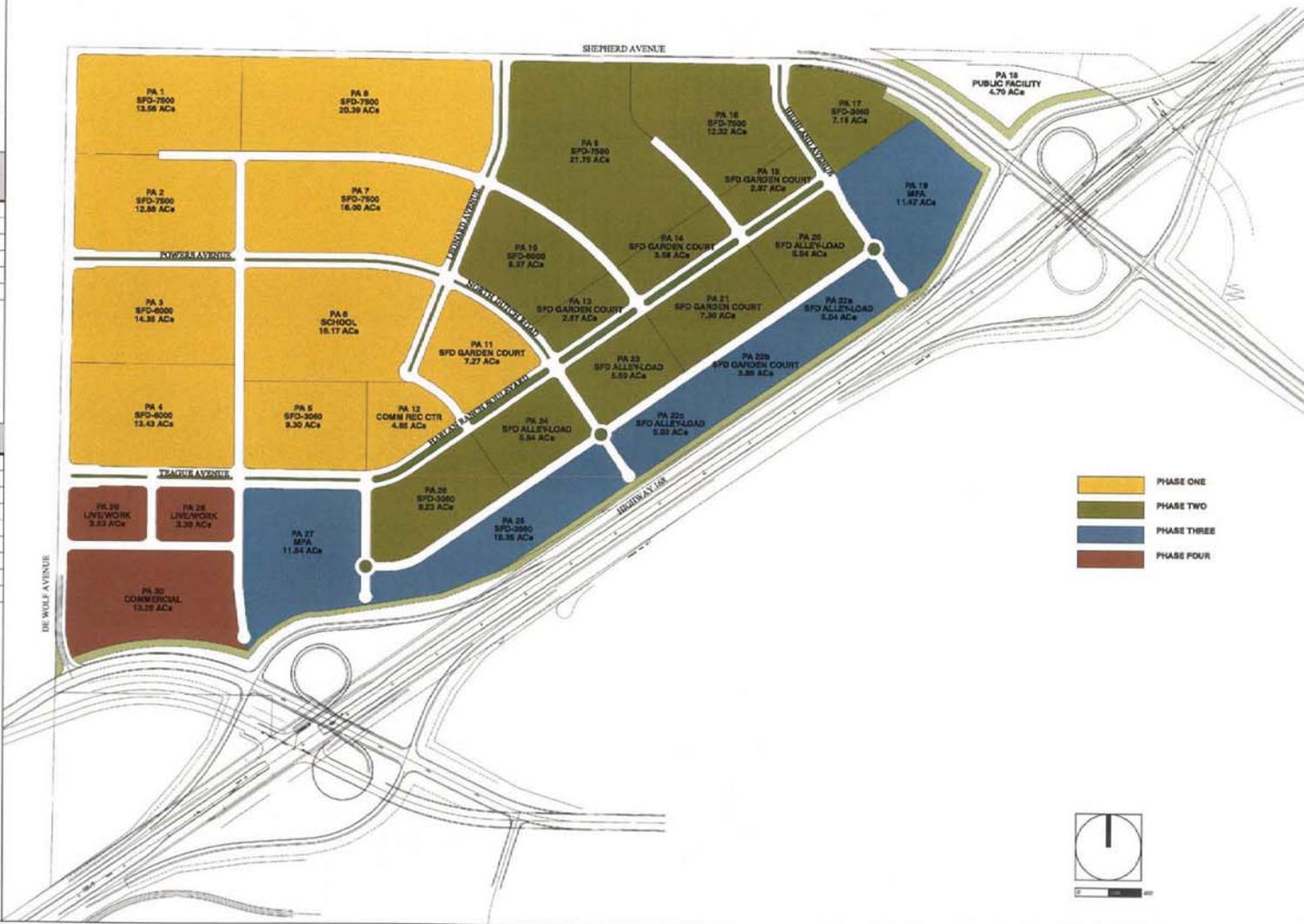
#### INFRASTRUCTURE

Public utilities and services in Harlan Ranch will be provided by the following public and private companies as detailed below.

UTILITY/SERVICE	PROVIDER
Electricity	PG&E
Gas	PG&E
Water	City of Clovis
Sewer	City of Clovis
Solid Waste	City of Clovis
Telephone	SBC and/or Private Network
Cable	Comcast and/or Private Network
Police and Fire	City of Clovis Police and Fire Depts.
Public School	Clovis Unified School District

#### MAINTENANCE

The Harlan Ranch community will be maintained by a Home Owners Association (HOA). The HOA will be responsible for the maintenance of all property, including landscaping, streetscape, neighborhood parks, community trails, and the community recreation center, that the Master Association owns, leases, or otherwise holds possessory or use rights for the common use and enjoyment of the Owners. The HOA will maintain the open space along Highway 168 and the lighting along the parks and trails network. Decorative lighting in public right-of-ways, private streets and easements will be owned and maintained by PG&E.



*City of Clovis Planning and Development Services*  
**Harlan Ranch Master Planned Community District (MPCD)**  
**Amendment Distribution Sheet**

**DISTRIBUTION DATE:** August 8, 2008

**Harlan Ranch Master Development Plan – Minor Modification**

**MM2007-04**, A minor modification to the Harlan Ranch Master Development Plan (HRMDP) to allow for modification to the Streetscape Development Standards on pages 22, 27, 28, 29, 30, 31, and 32. Verbiage to be added to the Monumentation/Other section is as follows: Crosswalks may be paved decoratively.

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**PLEASE ROUTE TO:**

**ADMINISTRATION:**

- Kathy Millison, City Manager
- Jeff Witte, Assistant City Manager
- Tina Sumner, Interim City Clerk

**PLANNING & DEVELOPMENT SERVICES:**

Jeff Witte, Interim Planning Director

**ENGINEERING DIVISION:**

- Steve White, City Engineer
- Mike Harrison, DRU Manager
- Sean Smith, Assistant Engineer
- Gene Abella, Assistant Engineer

**PLANNING DIVISION:**

- Dwight Kroll, City Planner
- David Fey, Deputy City Planner
- Connie Combs, Senior Planner
- Bryan Araki, Associate Planner**
- Orlando Ramirez, Associate Planner
- Ryan Burnett, Associate Planner
- George Gonzalez, Planning Tech II
- Pam Smith, Permit Technician

**BUILDING DIVISION:**

- Mark Meyers, City Building Official

**DESCRIPTION:** Attached please find the revised Pages 22, 27, 28, 29, 30, 31, and 32 of the Harlan Ranch Master Development Plan stamped as approved for Minor Modification MM2007-04.

*City of Clovis Planning and Development Services*  
**Harlan Ranch Master Planned Community District (MPCD)**  
**Amendment Distribution Sheet**

**DISTRIBUTION DATE:** August 8, 2008

**Harlan Ranch Master Development Plan – Minor Modification**

**MM2008-01**, A minor modification to the Harlan Ranch Master Development Plan (HRMDP) to allow for the elimination of coffee shops and internet cafes as a permitted use under Planning Areas 28 and 29 of the HRMDP. An additional minor modification to the Harlan Ranch Master Development Plan (HRMDP) includes adjustments to the Front Yard setback and garage requirements to accommodate new/additional models under Planning Areas 1, 2, 7, 8, 9, and 16 of the HRMDP.

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**PLEASE ROUTE TO:**

**ADMINISTRATION:**

- Kathy Millison, City Manager
- Jeff Witte, Assistant City Manager
- Tina Sumner, Interim City Clerk

**PLANNING & DEVELOPMENT SERVICES:**

- Jeff Witte, Interim Planning Director

**ENGINEERING DIVISION:**

- Steve White, City Engineer
- Mike Harrison, DRU Manager
- Sean Smith, Assistant Engineer
- Gene Abella, Assistant Engineer

**PLANNING DIVISION:**

- Dwight Kroll, City Planner
- David Fey, Deputy City Planner
- Connie Combs, Senior Planner
- Bryan Araki, Associate Planner
- Orlando Ramirez, Associate Planner
- Ryan Burnett, Associate Planner
- George Gonzalez, Planning Tech II
- Pam Smith, Permit Technician

**BUILDING DIVISION:**

- Mark Meyers, City Building Official

**DESCRIPTION:** Attached please find the revised Pages 44 and 50 of the Harlan Ranch Master Development Plan stamped as approved for Minor Modification MM2008-01.

Harlan Ranch  
A CLOVIS COMMUNITY

# MASTER DEVELOPMENT PLAN MODIFICATIONS AND AMENDMENTS

